

# STRATA REPORT

ADDRESS: 3/65 Kareena Rd, Miranda

LOT:3 SP: 48816



DATE OF ASSESSMENT: 11<sup>TH</sup> APRIL 2022

## DID YOU PURCHASE THIS REPORT FROM ADVANCED STRATA INSPECTIONS?

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The person(s) who have provided you with the report have:

- Breached our terms and conditions; and
- Breached our copyright and other intellectual property

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- **Will not** be able to speak with us about the report and we cannot answer any question about the report.

If you are affected by these issues, please contact us on 0415767711

## Limitations and disclaimers relating to our inspection and reports

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### **DISCLAIMER**

*a. During the subject inspection, no attempt was made to ascertain whether any Managing Agent has complied with the detailed accounting requirements of the Auctioneers and Agents legislation or whether the prescribed accounting and prescribed financial statement requirements are being complied with by the Owner's Corporation. As these requirements are particularly complex, an additional inspection by a specially trained inspector would be necessary before we would report same.*

*b. The information contained in this report was extracted from the books and records of the Owner's Corporation and, as far as was possible, from conversations with officers of the Owner's Corporation.*

Special procedures were followed to minimise the possibility of records not being made available for inspection. However, your attention is directed to the possibility that all the Owner's Corporation records may not have been made available for inspection or, alternatively, that the records may not have contained all the information of interest to a Purchaser or Mortgagee. Please note that some particular managing agents are in the practice of archiving records prior to the required period of five years & that these records may not have been made available for this inspection

c. This report is issued to the named client and if that person is a solicitor or conveyancer, the client of that solicitor or conveyancer, Advanced Strata Inspections will not accept any responsibility to any other person who relies upon this report to their detriment unless it has agreed in writing to accept such responsibility.

d. We HIGHLY recommend, you seek legal assistance and advice on the details and contents of this report. We will not be able to provide you with advice and guidance.

#### **ADDITIONAL DISCLAIMER**

- **Most of the records at this managing agent's office have been scanned and are kept on their computer data base; each image is individually scanned and recorded in various categories rendering their inspection most cumbersome and difficult; we can therefore not be certain that we sighted each and every such image.**

#### **COVID-19**

In response to the impact of COVID-19 on strata and community schemes, the NSW Government has made temporary changes to the law to give schemes the flexibility they need to function. The regulations commenced on 5 June 2020, and will be in place for six months, or until further notice.

You should refer to the NSW Government Fair Trading website for further details:

<https://lnk.nswfairtrading.trclient.com//AtGMpL-xv3We3xxUWiLMJV8>

## INTRODUCTION AND CONTENTS

### Important information regarding this report

Thank you for purchasing the **ASI Strata Report**. This Report summarises information gathered during an inspection of the records of the body corporate by a trained inspector.

The Report represents the information made available to the inspector by the Strata Manager on the date of inspection. Some Strata Management companies scan the Strata Records onto a computer storage system. In these instances, inspectors are required to inspect computer systems as well as the loose copies provided by the Strata Management. Therefore, we cannot guarantee that what was sighted as part of this inspection is all that the Strata Management had in their possession.

## CONTACT ADVANCED STRATA INSPECTIONS

Please feel free to contact ASI regarding this report. Should you have any difficulty in understanding anything contained within this report then you should immediately contact ASI and have the matter explained to you. If you have any questions at all or require any clarification, then contact ASI prior to acting on this report.

Contact details:

Phone: 0415767711

Email: [Matthew@advancedstrata.com.au](mailto:Matthew@advancedstrata.com.au)

The strata records were inspected by Matthew Sidra on 4/11/2022

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## LIST OF INSPECTED DOCUMENTS

Listed are documents that are normally made available by the Strata Management during an inspection of the Strata Records.

DOCUMENT	AVAILABLE FOR INSPECTION	
Strata Roll	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Strata Plan	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Certificate of Title	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Financial Accounts	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Administration Fund	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Capital Works Fund	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Insurance Valuation	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Building Insurance	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Previous 5 years AGM Minutes	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
EGM minutes (if applicable)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Correspondence File	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Fire Safety Certificate	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Capital Works Fund Forecast Report	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Occupational Health and Safety Report	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Asbestos Report	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Building Defects (if applicable)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Cladding (if applicable)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Strata Plans By-laws (if applicable)	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

## CONTRIBUTIONS

THE BUDGET PASSED AT THE LAST ANNUAL GENERAL MEETING IS AS FOLLOWS:

**Date of the last AGM held:** 18/8/2020

**Date of next expected AGM:** Not yet set

### **Administration Fund:**

Total Building: \$9,000.00

The Subject Lot:

Annually: \$2,250.00

Per Quarter: \$562.50

### **Capital Works Fund:**

Total Building: \$4,600.00

The Subject Lot:

Annually: \$1,150.00

Per Quarter: \$287.50

### **Effective from:**

1 October 2020

### **Arrears:**

The Subject Lot: \$0.00

PREVIOUS YEAR'S LEVIES DETERMINED AT THE AGM DATED 2/7/2019

### **Administration Fund:**

Total Building: \$8,400.00

### **Capital Works Fund:**

Total Building: \$0.00

## SPECIAL LEVIES

### CURRENT

According to the records inspected, there are no current special levies.

### POSSIBLE/PROPOSED SPECIAL LEVIES

According to the records inspected, there are no proposed special levies.

### PAST SPECIAL LEVIES

According to the records inspected, there has been no history of special levies.

### CAPITAL WORKS FUND FORECAST

A Capital Works Fund forecast is attached.

## STRATA ROLL

### Owner:

Ashley Martyn Holmes & Cassanne Jaclyn Ayre:

### Address:

3/65 Kareena Rd, Nth Miranda NSW 2228

### Mortgagee:

None Noted

The details above reflect the information available in the Strata records. Current ownership details can be confirmed with your legal adviser from the title search included as part of the sale contract for this property.

### Unit Entitlement: (Aggregate Entitlement)

The unit entitlement is 25.00 of an aggregate of 100.00. Therefore, the subject lot carries rights and responsibilities equivalent to 25% of the strata plan. The owners of the subject lot may cast votes equivalent to their percentage ownership of the strata plan and are responsible for the expenditure of the building to the same extent.

## STRATA PLAN

**Number of lots in Strata Plan:**

4

**Number of Units:**

4

**Lot and Unit number correspond:**

Yes

**Date Strata Plan registered:**

10/1/1995

**Original Owner:**

Not Ascertained

## MANAGING AGENT / SECRETARY

**Name:**

Alcorp Strata Management

**Address:**

PO BOX 4065, Lugarno NSW 2210

**Telephone Number:**

9553-6888

**Assigned Manager:**

Cheryl Glanville

## INSURANCES

**Company:**

AXIS

**Policy No:**

P-004811

**Due Date:**

31/1/2023

Building:	\$1,190,000.00
Public Liability:	\$20,000,000
Voluntary Workers:	\$200,000/2000
Workers Compensation:	Not Included

Please Note: Only required where wages are paid in excess of \$7,500 per annum

Loss of Rent:	\$178,500.00
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Please Note: Coverage for situations where the building becomes uninhabitable.

Office Bearers Liability:	\$100,000
Fidelity Guarantee:	\$100,000
Machinery Breakdown:	Not Insured
Common Contents:	\$11,900.00
Building Catastrophe:	\$178,500.00

**Total Premium Cost:**

\$3,870.12

**Documents sighted:**

Yes

**All insurances held in the name of the Owners Corporation.**

Yes ☒ No ☐

**The Strata Schemes Management Act 1996 requires the Owners Corporation to have the following:**

- Building insurance at least to the value of the building as determined by a valuation which must be obtained at least every 5 years
- Public Liability cover to a minimum of \$10,000,000
- Workers' Compensation insurance; and
- Voluntary Workers insurance.

## BUILDING VALUATION

Valuation report attached

## OWNERS FUNDS

AS AT 8/4/2022 THE FINANCIAL POSITION OF THE OWNER'S CORPORATION  
(ASSETS MINUS LIABILITIES) WAS AS FOLLOWS:

**Administration Fund: \$578.97**

(This fund covers the day-to-day expenditure of the building)

**Capital Works Fund: \$6,712.32**

(This fund is intended to cover long-term maintenance of the building)

**Combined:**

**Owners Funds: \$7,291.29**

**Cash at Bank: \$7,291.29**

**Total levies in arrears: \$0.00**

**Account Keeping Requirements:**

Accounting records are kept as per the Act	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Annual Budgets have been prepared	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Accounts are audited	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

## CERTIFICATE OF TITLE / BY-LAWS

### BY-LAWS FOR THIS STRATA SCHEME

Is there any evidence of By-Laws passed during the past 6-Months, that have not been registered?

**No**

Did this Scheme commence prior to 1 July 1997?

**Yes**

The Certificate of Title is not normally found in the strata records. A Title Search is normally conducted and included as part of the sale contract documentation. Please liaise with your legal adviser on this issue.

A search should be made at the Land Titles Office regarding registers dealings. The Strata Schemes Management Act 1966 requires that a change of By-Laws must be registered within two years of a resolution being passed.

### NEW STRATA LEGISLATION (EFFECTIVE 30 NOVEMBER 2016)

The Strata Schemes Management Act 2015 commenced on 30 November 2016 which enacts new regulations regarding By-Laws.

All Strata Schemes will need to review their By-Laws before 1 December 2017.

Schemes prior to 1 July 1997 must adopt the new model By-Laws. However, they can be subject to changes being adopted through a Special Resolution in a general meeting of the Owners Corporation.

Strata Schemes commencing between 1 July 1997 and 30 November 2016 must review their By-Laws by 1 December 2017. Note: Adoption of the new model By-Laws is not compulsory.

## LITIGATION

Any evidence of current or proposed litigation involving the Owners Corporation?

Yes ☐ No ☒

## TAXATION

### TAX RETURNS

Corporation lodges income tax returns?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Copy of most recent Tax Return sighted?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Expenditure for tax preparation in financial accounts?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

### GST

The Owner's Corporation is registered for and collects GST. Yes ☐ No ☒

## MINUTES AND RECORDS

Minutes and financial records have been retained for the prescribed period of five years.

### Date of the last AGM:

18/8/2020:

### Last Minutes in Book:

18/8/2020:

### Date of the first AGM:

Not Ascertained

### Missing Minutes:

No AGM held in 2021 & 2022

### Strata Committee Members:

Please refer to the 2020 AGM minutes, attached.

## NOTICES AND ORDERS

Do the records contain Notices or Orders adversely affecting the Owners Corporation?

Yes ☐ No ☒

## HARMONY

We note that the following By-Laws infringements were addressed in recent times:

- None sighted at time of our inspection.

## ALTERATIONS & ADDITIONS

Before carrying out alterations to units or the common property owners must first request permission from the Owners Corporation.

Do the records contain any recent applications to the Strata Committee for permission to carry out alterations or additions to individual units or to the subject lot?

Yes ☐ No ☒

## ANIMALS

**NOTE:** Owners Corporations have twelve (12) months from 30 November 2016 to review the By-Laws of their Strata Scheme as outlined in the By-Laws section of this Report. Therefore, the current attitude policy to pets, if any, will remain in place until the Review is undertaken.

### CURRENT POLICY FOR THIS STRATA SCHEME

**Keeping of animals** – Refer to the strata plans by-laws section

## NOTABLE MATTERS

Particulars of issues or building matters found in the books and records, which may be of interest to the purchaser.

- No major notable matters.
- NOTE: That no AGM has been held in 2021 & 2022 due to covid.

## FIRE SAFETY CERTIFICATE

Was the current Fire Safety Certificate sighted?

An Annual Fire Safety Statement was not sighted at time of our inspection, NOTE: that this strata plan may not be required to conduct an annual inspection, and or submit certification to council.

Yes ☐ No ☒

## PAST BUILDING WORK

We refer you to the History of Expenditures below which notes major expenditure items for building works.

The following extracts concerning this work and other matters of interest are taken from the minutes, financial accounts, and correspondence:

**The Following Capital Works Fund, Income & Expenditure Statements  
are attached for your reference, for the period:**

**DATE:**

**1/2/22 – 8/4/22**

**1/2/21 – 31/1/22**

**1/2/20 – 31/1/21**

**1/2/19 – 17/6/19**

**1/2/16 – 31/1/17**

## ATTACHMENTS

1. STRATA ROLL SUBJECT LOT
2. SUBJECT LOT LEVY PRINT OUT
3. FUNDS BALANCE SHEET
4. STATEMENT OF INCOME & EXPENDITURE
5. INSURANCE CERTIFICATE OF CURRENCY
6. BUILDING INSURANCE VALUATION
7. MINUTES OF THE LAST MEETINGS OF THE STRATA PLAN
8. CAPITAL WORKS FUND FORCAST REPORT
9. STRATA PLAN, CT & BY-LAWS

## GLOSSARY

### A

#### *Agenda*

A list of motions or issues to be voted upon or deliberated at a meeting.

#### *Aggregate Unit Entitlement*

The total of all the individual lot unit entitlements in the Strata Scheme. See also *Total Unit Entitlement* and *Unit Entitlement*.

#### *Annual General Meeting (AGM)*

A meeting of owners and other interested parties (as noted on the *Strata Roll*) that must be convened once a year under the NSW Strata Schemes Management Act 2015. Also, see *General Meeting*.

#### *Airspace*

A lot owner effectively owns the airspace (and anything included in the airspace) inside the boundary walls, floor, and ceiling of the lot. Lot airspace may include balconies and courtyards. Everything within the airspace must be maintained at the owner's cost.

### B

#### *By-Laws*

A set of rules the residents (owners and tenants) in the strata or community scheme must abide by.

#### *Budget*

An estimation of future receipts and payments likely to occur in the coming year for a scheme. This estimate is prepared by the *Strata Committee* or the *Strata Managing Agent* and is based principally on the historical costs of the scheme.

### C

#### *Capital Works Fund (previously known as Sinking Fund)*

A fund, under the control of the Owners Corporation, used to cover major renewal, repair or replacement works for the scheme including such things as window bar replacement, structural rectification, roofing replacement or repair, common property painting, stairwell carpet replacement, balcony problems, unexpected emergencies etc. Contributions are set by the Owners Corporation and are usually paid in quarterly instalments (see *Levies*).

#### *Certificate of Title*

A title deed issued by the NSW Land and Property Information to prove ownership of a lot. The Owner's Corporation is also issued with a title deed for the common property.

#### *Common Property*

Common property is areas such as driveways, external walls, roofs, stairwells, foyers, and gardens. Ownership is shared between Lot owners. Everything that is not defined as part of a Lot is common property.

### E

#### *Extraordinary General Meeting (EGM)*

A meeting held outside the time frame of the Annual General Meeting for the consideration of any matters that need to be addressed by all owners.

#### *Exclusive Use*

A special right granted to an owner to use a part of the common property (e.g., exclusive use of a car space located on common property).

#### *Executive Committee (see Strata Committee)*

**H**

*Harmony*

A term used to describe the level of owner contentment that exists within a scheme. Issues that impact on the level of harmony are parking, noise, animals and disputes between neighbours, owners, and the Strata Committee.

**I**

*Initial Period*

The period in which the original owner still owns strata lots in a Strata Scheme for which the sum of the unit entitlements of those lots comprises more than 2/3 of the aggregate unit entitlement of the scheme.

**L**

*Levies*

Contributions usually paid quarterly, by the owners to the Owners Corporation to cover regular expenditure and future major works expenses. The amount paid by each lot owner is regulated by the unit entitlement of their respective lot and allocated to both the Administrative and Capital Works (previously known as Sinking) Funds.

*Lot*

A strata scheme is a building or collection of buildings that has been divided into 'lots'. Lots can be individual units/apartments, townhouses, or houses. When a person buys a lot, they own the individual lot and share the ownership of common property with other lot owners.

**M**

*Minutes*

A documented record of all proceedings for all meetings held by the Owners Corporation and Strata Committee.

*Motion*

A proposal put forward for consideration at meetings held by the Owners Corporation and the Strata Committee.

**O**

*Ordinary Resolution*

A resolution that requires a majority vote of eligible owners or representatives present at a general meeting. An ordinary resolution motion is resolved if the majority of the votes cast are in favour of the motion otherwise the motion is defeated. Ordinary Resolutions are proposed to deal with such things as determining levy contributions and administrative matters.

*Original Owner*

The owner of the entire strata titled complex when the Strata Scheme was originally registered. It is usually the developer or builder.

**Owners Corporation**

The legal entity consisting of all the owners of the lots in a Strata Scheme and formed when a Strata Plan is registered.

**P**

*Poll*

A method of voting at meetings where each owner's vote has a value based on their lots unit entitlement.

*Proxy*

A person appointed, in writing, by an owner or mortgagee to attend a meeting and vote on the appointer's behalf.

**Q**

*Quorum*

A quorum for a general meeting is 25% of people entitled to vote or owners who hold 25% or more of unit entitlement. A quorum for an executive committee meeting is at least 50% of the executive committee members.

## R

### *Resolution*

A decision made at a meeting based on a motion raised and addressed at the meeting. There are three types of resolutions – Ordinary Resolutions, Special Resolutions and Unanimous Resolutions.

## S

### *Sinking Fund (see Capital Works Fund)*

### *Special Levy*

A Special Levy is raised to pay for expenses not budgeted for in either the Administrative Fund or the Capital Works Fund (previously Sinking Fund). The amount and number of payments are specified at a general meeting of the Owners Corporation where the levy is approved.

### *Special Resolution*

A Special Resolution requires a minimum 75% of the owners in favour of a motion, based on unit entitlement, when presented at a general meeting of the owner's corporation. Special Resolutions are proposed to deal with such things as issues concerning common property or the amending of By-Laws.

### *Strata Committee (previously known as the Executive Committee)*

Elected representatives of the owners. The election takes place at each Annual General Meeting. The three main positions are Chairman, Secretary and Treasurer.

### *Strata Scheme*

A Strata Scheme is a building or collection of buildings that has been divided into 'lots'. Lots can be individual units/apartments, townhouses, or houses. When a person buys a lot, they own the individual lot and share the ownership of common property with other lot owners. Common property generally includes things like gardens, external walls, roofs, driveways, and stairwells.

### *Strata Roll*

The register of the owners of all lots in the Strata Scheme including any utility lots. It also includes the names of other interested parties such as any mortgagees, covenant charges or lessees.

## T

### *Total Unit Entitlement*

The total of all the individual lot unit entitlements in the Strata Scheme.

### *Tribunal*

The NSW Civil and Administrative Tribunal (NCAT) hears and determines disputes between tenants, landlords, traders, and consumers in a timely and effective manner.

## U

### *Unanimous Resolution*

A Unanimous Resolution requires 100% of the owners in favour of a motion when presented at a general meeting of the owner's corporation. Unanimous resolutions are proposed to deal with such things as alterations to the Strata Plan or dealing with some Insurance matters.

### *Unit Entitlement*

Each lot in a strata plan is allocated a unit entitlement based upon its value relative to the other lots in the scheme. This entitlement regulates the proportion of the levies payable by the lot owners and the voting rights of the lot.

## W

### *WHS – Work Health & Safety*

An acronym for Work Health & Safety, which is a set of rules and regulations concerned with protecting the safety, health, and welfare of people, engaged in work or employment. The goal of occupational safety and health programs is to foster a safe and healthy work environment.

## INDIVIDUAL LOT

Lot 3

Associated lots:

Unit no. 3

## Unit entitlements

Levy Entitlement 25.00 / 100.00

## Owners

Name	Address for service of notices
Mr R J Hewitt	23 Emerald Place, Grays Point NSW 2232
Email Address robhewitt66@hotmail.com	
Date of entry 16/03/2012	Date of purchase 16/03/2012
Ashley Martyn Holmes and Cassanne Jaclyn Ayre	3/65 Kareena Road, NORTH MIRANDA NSW 2228
Email Address cassanneayre@hotmail.com	
Date of entry 18/11/2019	Date of purchase 07/11/2019

## Mortgages

None

## Leases

Lessee	Term	Address for service of notices	Date of termination	Date of entry
Diane Thistlewaite	52 weeks	3/65 Kareena Road Miranda		23/04/2015
Daniel Dotta & Kimberley Moffat		3/65 Kareena Road Miranda NSW 2228		07/02/2018

## Owner Ledger

Start Date: 01/04/2020  
End Date: 30/04/2024  
Owners: One only

The Owners--Strata Plan 48816

65 KAREENA ROAD, NORTH MIRANDA NSW 2228

Lot 3 Unit 3 Ashley Holmes Ayre

UE / AE: 25.00 / 100.00

### Levies

Levy no.	Due date	Frequency	Details	Admin Fund		Capital Works Fund		Interest paid	Discount	Levy type	Status	Group
				Due	Paid	Due	Paid					
			Balance brought forward	0.00		0.00						
1	01/04/2020	Quarterly	Quarterly Admin Levy	525.00	525.00	0.00	0.00	10.16	0.00%	Standard	Normal	None
2	01/07/2020	Quarterly	Quarterly Admin Levy	525.00	525.00	0.00	0.00	0.03	0.00%	Standard	Normal	None
3	01/10/2020	Quarterly	Quarterly Admin/Capital Works Levy	562.50	562.50	287.50	287.50	0.00	0.00%	Standard	Normal	None
4	01/01/2021	Quarterly	Quarterly Admin/Capital Works Levy	562.50	562.50	287.50	287.50	0.00	0.00%	Standard	Normal	None
5	01/04/2021	Quarterly	Quarterly Admin/Capital Works Levy	562.50	562.50	287.50	287.50	0.00	0.00%	Standard	Normal	None
6	01/07/2021	Quarterly	Quarterly Admin/Capital Works Levy	562.50	562.50	287.50	287.50	0.00	0.00%	Standard	Normal	None
7	01/10/2021	Once-off	October levy	562.50	562.50	287.50	287.50	0.00	0.00%	Standard	Normal	None
8	01/01/2022	Once-off	January	562.50	562.50	287.50	287.50	0.00	0.00%	Standard	Normal	None
9	01/04/2022	Once-off	April Levy	562.50	562.48	287.50	287.49	0.00	0.00%	Standard	Normal	None

Current position: Unallocated prepayments \$0.00

Levy arrears & owner invoices due \$0.03

Interest on levy arrears \$0.00

Receipts	Date	Receipt no.	Subtype	Status	Source	Admin Fund		Capital Works Fund		Unallocated	Paid Total amount	Cheque no.	Levy no.
						Paid	Interest	Paid	Interest				
	15/07/2020	157	Receipt	Banked		1,045.27	10.16	0.00	0.00	0.00	1,055.43		1,2
	30/09/2020	160	Receipt	Banked		564.48	0.03	287.49	0.00	0.00	852.00		2,3
	04/01/2021	163	Receipt	Banked		562.50	0.00	287.50	0.00	0.00	850.00		3,4
	01/04/2021	167	Receipt	Banked		562.50	0.00	287.50	0.00	0.00	850.00		4,5
	01/07/2021	172	Receipt	Banked		562.50	0.00	287.50	0.00	0.00	850.00		5,6

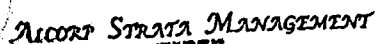
65 KAREENA ROAD, NORTH MIRANDA NSW 2228

Owners--Strata Plan 48816  
Unit 3 Ashley Holmes Ayre

Lot 3

UE / AE: 25.00 / 100.00

01/10/2021	175	Receipt	Banked	562.50	0.00	287.50	0.00	0.00	850.00
04/01/2022	178	Receipt	Banked	562.50	0.00	287.50	0.00	0.00	850.00
01/04/2022	182	Receipt	Banked	562.50	0.00	287.50	0.00	0.00	850.00



PO Box 4095  
Lugarno NSW 2210  
reception@a1corpstrata.com.au  
Tel: (02) 9533 6688 • (02) 9533 7688  
Fax: (02) 9534 2218

## COMMON PROPERTY / GENERAL INFORMATION

65 KAREENA ROAD, NORTH MIRANDA NSW 2228

**Original owner**

**Developer**

**Builder**

### Managing agent

**Alcorp Strata Management**

1010 Forest Road

LUGARNO NSW 2210

**Assigned manager**

**Cheryl Glanville**

### Unit entitlements

## Levy Entitlement

Lot no.	Associated lots	Unit no.	U/E	Lot no.	Associated lots	Unit no.	U/E
1		1	25.00	2		2	25.00
3		3	25.00	4		4	25.00
Total unit entitlement							100.00

**Insurance**

Policy No. P-004811 Axis Underwriting Services

Type: Strata Broker: Austbrokers ABS Strata Pty Ltd  
PO Box Q1402, QVB NSW 1230

Premium: \$3,870.12 Paid on: 19/01/2022 Policy start date: 30/01/2022 Next due: 31/01/2023

Cover	Sum insured	Excess
Building	\$1,190,000.00	\$1,000.00
Loss of Rent	\$178,500.00	\$0.00
Common Contents	\$11,900.00	\$0.00
Catastrophe	\$178,500.00	\$0.00
Fidelity Guarantee	\$100,000.00	\$0.00
Public Liability	\$20,000,000.00	\$0.00
Personal Accident	200,000/2,000	\$0.00
Health & Safety Breaches	\$100,000.00	\$0.00
Office Bearers Liability	\$1,000,000.00	\$0.00
Machinery Breakdown	\$100,000.00	\$0.00
Legal Defence Expenses	\$50,000.00	\$0.00
Government Audit Costs	\$25,000.00	\$0.00
Floating Floors	Included	\$0.00
Paint Cover	Included	\$0.00
Lot Owners Fixtures & Improvements	\$300,000.00	\$0.00

**Strata Committees**

Member

Rob Hewitt

23 Emerald Place, Grays Point NSW 2232



# **INTERIM REPORTS**

## **for the financial year to 30/04/2022**

**Strata Plan 48816**  
**65 KAREENA ROAD, NORTH MIRANDA NSW 2228**

Manager: Cheryl Glanville

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Balance Sheet	1
Income & Expenditure Statement	2
Insurance	4



ALCOP STRATA MANAGEMENT  
ALCOP STRATA MANAGEMENT

PO Box 4065  
Lugarno NSW 2210  
reception@alcorpstrata.com.au  
Tel: (02) 9533 6888 • (02) 9533 7888  
Fax: (02) 9534 2218

## Balance Sheet

### As at 08/04/2022

The Owners--Strata Plan 48816

65 KAREENA ROAD, NORTH MIRANDA NSW

#### Current period

#### Owners' funds

Operating Surplus/Deficit--Admin	1,393.45
Owners Equity--Admin	(814.48)
	<u>578.97</u>
Operating Surplus/Deficit--Capital Works	1,150.00
Owners Equity--Capital Works	5,562.32
	<u>6,712.32</u>
<b>Net owners' funds</b>	<b><u>\$7,291.29</u></b>

#### Represented by:

#### Assets

Cash at Bank	7,291.26
Receivable--Levies	0.03
<b>Total assets</b>	<b><u>7,291.29</u></b>
<b>Net assets</b>	<b><u>\$7,291.29</u></b>



# **Income & Expenditure Statement**

## **for the financial year-to-date**

### **01/02/2022 to 08/04/2022**

The Owners--Strata Plan 48816

65 KAREENA ROAD, NORTH MIRANDA NSW 2228

### **Administrative Fund**

#### **Current period**

01/02/2022-08/04/2022

#### **Revenue**

Levies Due--Admin	2,250.00
Strata Roll Inspection Fees	34.10
<b>Total revenue</b>	<b>2,284.10</b>

#### **Less expenses**

Admin--Agent Disburst--Other	2.20
Admin--Agent Disburst--Postage	7.25
Admin--Agent Disburst--Stationery	10.45
Admin--Bank Charges--Bpay	2.20
Admin--Management Fees--Standard	256.60
Maint Grounds--Lawns & Gardening	500.00
Utility--Electricity	111.95
<b>Total expenses</b>	<b>890.65</b>

**Surplus/Deficit** 1,393.45

Opening balance (814.48)

**Closing balance** **\$578.97**

**Capital Works Fund****Current period**

01/02/2022-08/04/2022

**Revenue**

Levies Due--Capital Works

1,150.00

*Total revenue*1,150.00**Less expenses***Total expenses*0.00**Surplus/Deficit**1,150.00

Opening balance

5,562.32

**Closing balance**\$6,712.32



## Insurance

### as at 08/04/2022

**Strata Plan 48816**

**65 KAREENA ROAD, NORTH MIRANDA NSW 2228**

Policy No. P-004811      Axis Underwriting Services  
 Type: Strata      Broker: Austbrokers ABS Strata Pty Ltd  
    PO Box Q1402, QVB NSW 1230

Premium: \$3,870.12      Paid on: 19/01/2022      Policy start date: 30/01/2022      Next due: 31/01/2023

Cover	Sum insured	Excess
Building	\$1,190,000.00	\$1,000.00
Loss of Rent	\$178,500.00	\$0.00
Common Contents	\$11,900.00	\$0.00
Catastrophe	\$178,500.00	\$0.00
Fidelity Guarantee	\$100,000.00	\$0.00
Public Liability	\$20,000,000.00	\$0.00
Personal Accident	200,000/2,000	\$0.00
Health & Safety Breaches	\$100,000.00	\$0.00
Office Bearers Liability	\$1,000,000.00	\$0.00
Machinery Breakdown	\$100,000.00	\$0.00
Legal Defence Expenses	\$50,000.00	\$0.00
Government Audit Costs	\$25,000.00	\$0.00
Floating Floors	Included	\$0.00
Paint Cover	Included	\$0.00
Lot Owners Fixtures & Improvements	\$300,000.00	\$0.00

Last valuation done on 13/12/2016

Insurance valuation \$1,090,000.00

**Certificate of Insurance**

Strata Plan 48816  
C/- Alcorp Strata Management  
PO BOX 4065  
LUGARNO NSW 2210

**Date:** 27.01.2022  
**Invoice No:** I1022948

We confirm insurance has been arranged in accordance with the details shown below and subject to the premium having been paid.

**Class** Strata Title Residential - STRA **Policy No.** P-004811

**Placed With** Axis Underwriting Services  
Level 5, 90 Collins Street  
MELBOURNE VIC 3000

**Period** 31.01.2022 to 31.01.2023

**Summary of Cover****RESIDENTIAL STRATA INSURANCE**

**INSURED:** Strata Plan 48816  
and subsidiary and/or related corporations (as defined under the Australian Companies Codes) all for their respective rights, interests and liabilities.

**SITUATION:** 65 Kareena Rd, North Miranda 2228

Building	\$ 1,190,000
Common Contents	\$ 11,900
Loss of Rent/Temporary Accommodation	\$ 178,500
Floating Floors	Included
Optional Paint Benefit	Included
Flood Cover	\$ Not Insured
Excess \$1000.00 All claims	
Public Liability	\$ 20,000,000
Excess \$1000.00	
Voluntary Workers	\$200,000/2000
Excess 7 days	
Fidelity Guarantee	\$ 100,000
Excess \$1000.00	
Office Bearers Liability	\$ 1,000,000
Excess \$1000.00	
Machinery Breakdown	\$ 100,000
Excess \$1000.00	

## COVERAGE SUMMARY

Strata Plan 48816  
Strata Title Residential - STRA

Catastrophe Insurance	\$	178,500
Government Audit Costs	\$	25,000
Appeal Expenses	\$	100,000
Legal Defence Expenses	\$	50,000
Excess:\$1000.00		
Lot Owners Fixtures & Improvements (per lot)	\$	300,000
Excess:\$1000.00		

EXTENSIONS: Conditions/Extensions as per policy wording

EXCLUSIONS: Exclusions as per Policy

FSRA Clauses - Retail

Policy Document

Please refer to your Policy Document for a full explanation of your policy conditions and excesses as applicable.

Nett

All returns Premiums issued under this Contract of Insurance will be calculated on a "Nett" Basis, i.e. Nett of Brokers Earnings.

The policy wording applying to this cover is: AXISRESPOL 10/2021

PLACED WITH	POLICY NUMBER	PROPORTION
Axis Underwriting Services A.B.N. 51 090 508 142 Level 5, 90 Collins Street Melbourne VIC 3000 AFSL No. 236650	P-004811	100.0000%
* SUPPORTING INSURERS		
- XL Insurance Company SE (Australia 100.0000% Branch) Level 28, Angel Place, 123 Pitt Street Sydney NSW 2000 ABN 36 083 570 441		



# BIV REPORTS PTY LIMITED

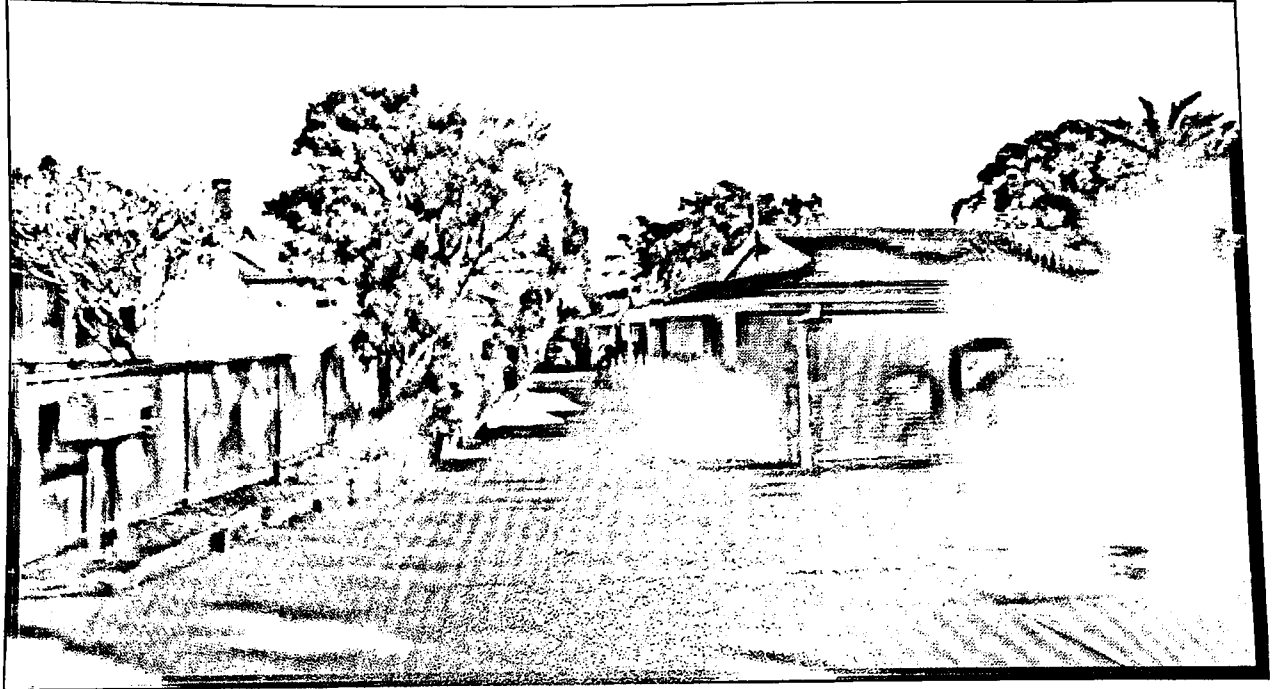
Asbestos Reports · WHS Reports · Building Insurance Valuations · Sinking Fund Plans

ABN 60 508 188 246

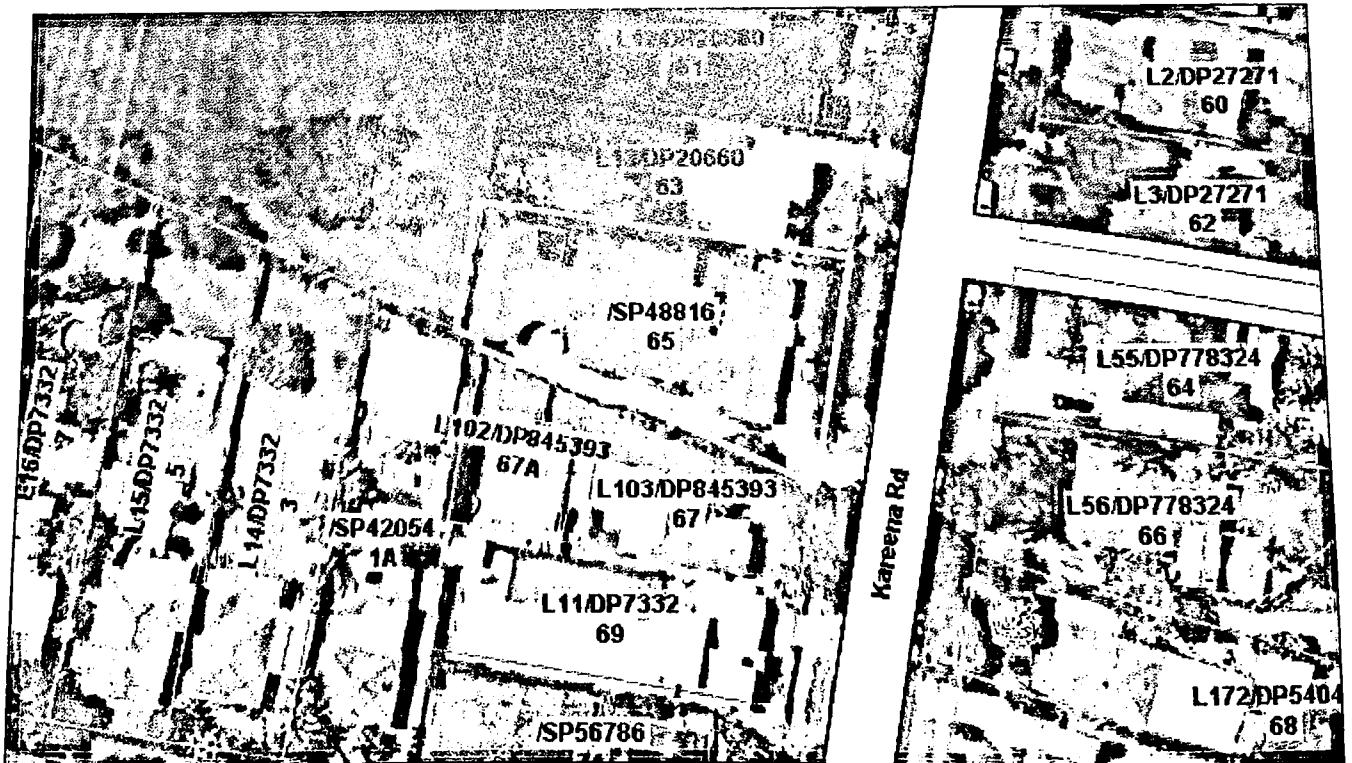
## BUILDING INSURANCE VALUATION REPORT

DECEMBER 2016

PHOTO DATE: AUG 2013



65 KAREENA ROAD, NORTH MIRANDA :: SP48816



**BIV**  
REPORTS

**BUILDING INSURANCE**  
VALUATIONS

**WHS**  
REPORTS

**ASBESTOS**  
REPORTS

**SINKING FUND**  
PLANS (AUST) PTY LIMITED



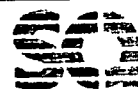
member  
**REINSW**  
REAL ESTATE INSTITUTE  
OF NEW SOUTH WALES

PO Box 2230  
Nth Parramatta 1750  
biv@biv.com.au  
www.biv.com.au

Certified Property Professionals

Fax: 1300 766 180 or 02 9890 2201

Ph: 1300 107 280 or 02 9114 9800



strata  
community  
australia  
Members NSW, Qld, WA

# Building Insurance Valuation Certificate of Value

In accordance with the Strata Schemes Management Act 2015 and Strata Schemes Management Regulation 2016. This is to certify the Replacement Cost only of the buildings of the Plan described herein, in accordance with section 161(1)(b) of the Act (Replacement) and excludes any assessment of the undefined and unclear reinstatement component under the new section 161(1)(c) where the building is damaged but not destroyed.

<b>Reported interest of:</b>	The Registered Proprietors of SP48816
<b>Address of property:</b>	65 Kareena Road, North Miranda
<b>Land description:</b>	Lots 1-4 and the Common Property
<b>Subject Improvements:</b>	Villa complex with car accommodation
<b>(Brief description only)</b>	
<b>Registration date &amp; brief description:</b>	Registered 1995, brick and tile, landscaped areas, and average finish
<b>Normal items and events included in the value ascribed below:</b>	Replacement of the buildings and other improvements, demolition and removal of debris, architects and other professional fees, 24 months allowance for rise and fall in building costs, including GST
<b>Date Prepared:</b>	13 December 2016
<b>Date of Valuation:</b>	31 January 2017
<b>Certificate Number:</b>	42112

In accordance with the comments made within this Certificate and based upon building costs reasonably available as at the Date Prepared, we are of the opinion that the Building Replacement Cost including the items listed above and in modern materials as at the Date of Valuation, can be fairly expressed in the amount of

**One million and ninety thousand dollars**

**\$1,090,000**



**Shane Andrew Foley AssocRICS**

Registered Valuer No. VAL026522 NSW - Unrestricted

Australian Valuers Institute - Practising Valuer

RICS Associate No. 6702046

This Certificate should be read with Page 2 of this Certificate including the disclaimers provided

**BIV Reports Pty Limited**

ABN 60 508 188 246

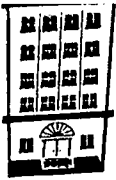
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Phone: 1300 10 72 80

Fax: 1300 766 180

PO Box 2230  
North Parramatta NSW 1750

Page 1 of 1



# ALCORP STRATA MANAGEMENT

ABN 24 563 807 340

## MINUTES OF THE ANNUAL GENERAL MEETING THE OWNERS – STRATA PLAN NO. 48816

ADDRESS OF STRATA SCHEME: 65 KAREENA ROAD, NTH MIRANDA 2228

### DATE, PLACE & TIME OF MEETING:

The Annual General Meeting of the Owners – Strata Plan No. 48816 was held on 18 August 2020. The meeting began at 4.00 pm in Lot Three.

### PRESENT: PROXY:

1,3,4  
2,

### IN ATTENDANCE:

Alcorp Strata Management.

### CHAIRPERSON:

Cheryl Glanville.

### 1. MINUTES

**RESOLVED** that the minutes of the last general meeting of the owners corporation be confirmed as a true record of the proceedings at that meeting.

### 2. FINANCIAL STATEMENTS:

**RESOLVED** that the financial statements for the period ended 31 /1 /2020 & Report to 02/07/2020 as prepared be accepted.

### 3. AUDITOR:

**RESOLVED** to not appoint an Auditor for the next financial period.

### 4. BUDGET:

**RESOLVED** that the proposed budget as presented by Alcorp Strata Management be altered as follows.

### 5. CONTRIBUTIONS:

**RESOLVED** that contributions to the Administrative fund which are estimated in accordance with section 95 (4) of the Strata Schemes Management Act 2015 and determined in accordance with sections S49,S52& S54 of the Strata Schemes Management Act 2015 at \$9,000.00  
**RESOLVED** that contributions to the Capital fund which are estimated in accordance with sections S49,S52 & S54 of the Strata Schemes Management Act 2015 and determined in accordance with sections of the Strata Schemes Management Act 2015 at \$ 4,600.00  
**RESOLVED** that contributions be paid in equal quarterly instalments, the first such instalment being due and payable on the first day of October 2020 and subsequent instalments being due and payable on the first days of January, April, July 2021  
Each Lot @ \$850 per Quarter.

6. **STRATA  
COMMITTEE:**

**RESOLVED** that the number of members of the executive committee be set at (4) .

**RESOLVED** that those elected were: Lots 1 ,2 ,3 ,4

7 **10 YEAR PLAN**

**RESOLVED** that the owners corporation continue to Review their Capital Plan annually to ensure maintenance and future budgets are adequate for the complex.

8. **MANAGEMENT :**

**RESOLVED** That Alcorp Strata Management be re-appointed for a further term of 12 months, Management Fee to remain unchanged.

9. **BUSINESS :**

- Resolved Martin to continue with Lawn and garden maintenance.
- Quotes to pressure wash & Seal of Roof Areas for next AGM.
- Plumber to proceed with works as per Quote – C J Young, on basis the agreed payment plan can be set in place. Alcorp to confirm with Plumber
- Lot 3 – Approved to Change Front Entry Door at their expense, with the view of being reimbursed as funds allow.
- Lot 3 approved to install Motor to the Garage Door at their own cost and on-going maintenance.
- Follow up Council in relation to Tree on nature strip at front of complex. Dangerous / Plumbing issues.

**CLOSURE:**

There being no further business, the chairperson declared the meeting closed at 5.15 pm


**ALCORT STRATA MANAGEMENT**  
ABN 14 953 788 888

 PO Box 4085  
 Lugarno NSW 2210  
 reception@alcorpstrata.com.au  
 Tel: (02) 9533 6888 • (02) 9533 7888  
 Fax: (02) 9534 2218

## Approved Levy Posting for

**The Owners--Strata Plan 48816**
**ABN 17422445546**
**First instalment due date:** 01/10/2020

**Instalment frequency:** Quarterly

**Number of instalments:** 4

**Description:** Quarterly Admin/Capital  
Works Levy

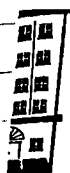
**Discount:** Nil

**Group:** General

**Entitlement set:** Levy Entitlement

**Levy determination date:** 18/08/2020

Lot No.	Unit No.	Unit Entitlement	Administrative Fund	Capital Works Fund	Total
1	1	25.00	2,250.00	1,150.00	3,400.00
2	2	25.00	2,250.00	1,150.00	3,400.00
3	3	25.00	2,250.00	1,150.00	3,400.00
4	4	25.00	2,250.00	1,150.00	3,400.00
<b>Totals</b>		100.00	\$9,000.00	\$4,600.00	\$13,600.00
<b>GST included in amounts to be raised</b>			\$0.00	\$0.00	\$0.00
<b>Amount to be raised per unit of entitlement</b>			\$90.00	\$46.00	\$136.00



# ALCORP STRATA MANAGEMENT

ABN 24 563 807 340

## MINUTES OF THE ANNUAL GENERAL MEETING THE OWNERS – STRATA PLAN NO. 48816

ADDRESS OF STRATA SCHEME: 65 KAREENA ROAD, NTH MIRANDA 2228

### DATE, PLACE & TIME OF MEETING:

The Annual General Meeting of the Owners – Strata Plan No. 48816 was held on 2<sup>nd</sup> July 2019. The meeting began at 4.00 pm in Lot One.

### PRESENT: PROXY:

1,4  
2,3 by phone at approx. 5.15 pm 2/07/2019

### IN ATTENDANCE:

Alcorp Strata Management.

### CHAIRPERSON:

Cheryl Glanville.

### 1. MINUTES

**RESOLVED** that the minutes of the last general meeting of the owners corporation be confirmed as a true record of the proceedings at that meeting.

### 2. FINANCIAL STATEMENTS:

**RESOLVED** that the financial statements for the period ended 31 /1 /2019 & Report to 17/06/2019 as prepared be accepted.

### 3. AUDITOR:

**RESOLVED** to not appoint an Auditor for the next financial period.

### 4. BUDGET:

**RESOLVED** that the proposed budget as presented by Alcorp Strata Management be altered as follows.

### 5. CONTRIBUTIONS:

**RESOLVED** that contributions to the Administrative fund which are estimated in accordance with section 95 (4) of the Strata Schemes Management Act 2015 and determined in accordance with sections S49,S52& S54 of the Strata Schemes Management Act 2015 at \$8,400.00

**RESOLVED** that contributions to the Capital fund which are estimated in accordance with sections S49,S52 & S54 of the Strata Schemes Management Act 2015 and determined in accordance with sections of the Strata Schemes Management Act 2015 at \$ Nil

**RESOLVED** that contributions be paid in equal quarterly instalments, the first such instalment being due and payable on the first day of October 2019 and subsequent instalments being due and payable on the first days of January, April, July 2020

**6. STRATA  
COMMITTEE:**

**RESOLVED** that the number of members of the executive committee be set at (3) .

**RESOLVED** that those elected were: Lots 1, 2, 4

**7 10 YEAR PLAN**

**RESOLVED** that the owners corporation continue to Review their Capital Plan annually to ensure maintenance and future budgets are adequate for the complex. Obtain a new 10 year Plan and distribute to owners

**8 BY-LAWS**

**RESOLVED** THAT Schedule (2) By-Laws be repealed From the date of this meeting.

Further that the Schedule (3) Strata By-laws are Adopted with the notations of

Item 5 - Keeping of Animals – Option (B) plus

(d) Take any action necessary to prevent any disturbance by the animal to the peaceful enjoyment of other lot owners and their Lots

Item 9 – Smoke Penetration - Option (A)

These By-Laws will be registered on Common Title after being consolidated with all other prior registered By-Laws for this complex.

**9. MANAGEMENT :**

**RESOLVED** That Alcorp Strata Management be re-appointed for a further term of 12 months .

That the tabled management agreement be signed by 2 Owners.

The Owners--Strata Plan 48816

65 KAREENA ROAD, NORTH MIRANDA

**Capital Works Fund**

**Current period**

01/02/2019-17/06/2019

**Revenue**

Levies Due--Capital Works 625.00

*Total revenue* 625.00

**Less expenses**

Admin--Other Expenses--Capital Works 105.00

Maint Bldg--Electrical 60.00

Maint Bldg--Roof 242.00

Maint Bldg--Structural Improvements 50.00

Maint Bldg--Structural Rectification 1,300.00

*Total expenses* 1,757.00

**Surplus/Deficit**

(1,132.00)

Opening balance 9,509.32

**Closing balance**

**\$8,377.32**

**MINUTES OF THE ANNUAL GENERAL MEETING  
THE OWNERS – STRATA PLAN NO. 48816**

**ADDRESS OF STRATA SCHEME: 65 KAREENA ROAD , NTH MIRANDA 2228**

**DATE, PLACE & TIME  
OF MEETING:**

The Annual General Meeting of the Owners – Strata Plan No. 48816 was held on 5th Feb 2018. The meeting began at 4.30 pm in Lot One .

**PRESENT:**

1,4

**PROXY:**

2,3

**IN ATTENDANCE:**

Alcorp Strata Management.

**CHAIRPERSON:**

Cheryl Glanville.

**1. MINUTES**

**RESOLVED** that the minutes of the last general meeting of the owners corporation be confirmed as a true record of the proceedings at that meeting.

**2. FINANCIAL  
STATEMENTS:**

**RESOLVED** that the financial statements for the period ended 31 /1 /2017 & Report to 31/01/2018 as prepared be accepted.

**3. AUDITOR:**

**RESOLVED** to not appoint an Auditor for the next financial period.

**4. BUDGET:**

**RESOLVED** that the proposed budget as presented by Alcorp Strata Management be altered as follows.

**5. CONTRIBUTIONS:**

**RESOLVED** that contributions to the Administrative fund which are estimated in accordance with section 95 (4) of the Strata Schemes Management Act 2015 and determined in accordance with sections S49,S52& S54 of the Strata Schemes Management Act 2015 at \$5,500.00

**RESOLVED** that contributions to the Capital fund which are estimated in accordance with sections S49,S52& S54 of the Strata Schemes Management Act 2015 and determined in accordance with sections of the Strata Schemes Management Act 2015 at \$2,500.00

**RESOLVED** that contributions be paid in equal quarterly instalments, the first such instalment being due and payable on the first day of April 2018 and subsequent instalments being due and payable on the first days of July , October 2018 and January 2019

**MINUTES OF THE ANNUAL GENERAL MEETING  
THE OWNERS - STRATA PLAN NO. 48816**

---

6. **STRATA COMMITTEE:** **RESOLVED** that the number of members of the executive committee be set at (3) .  
**RESOLVED** that those elected were: Lots 1,2,4
- 7 **10 YEAR PLAN** **RESOLVED** that the owners corporation continue to Review their Capital Plan annually to ensure maintenance and future budgets are adequate for the complex. Obtain a new 10 year Plan and distribute to owners
- 8 **BY-LAWS** **RESOLVED THAT** Schedule (2) By-Laws be repealed From the date of this meeting.  
Further that the Schedule (3) Strata By-laws are Adopted with the notations of  
Item 5 - Keeping of Animals - Option (B) plus  
(d) Take any action necessary to prevent any disturbance by the animal to the peaceful enjoyment of other lot owners and their Lots  
Item 9 - Smoke Penetration - Option (A)  
These By-Laws will be registered on Common Title after being consolidated with all other prior registered By-Laws for this complex.
- 9 **VOTING** **RESOLVED** that all Owners can use alternate means Of voting at general meetings, if arrangements have been discussed and made with the manager prior to any meeting.
10. **INSURANCE POLICY:** **RESOLVED** that each renewal of Insurance will be arranged by the managing agent after revising the three Quotes.  
Owners further agreed it was in the best interest of the Complex to maintain a Insurance valuation every five Years to ensure adequate coverage for Insurance.

**11 DEBT RECOVERY:**

**RESOLVED** and noted that Debt recovery proceedings Would commence against any Lot in arrears of more than 120 days. All Associated costs for the debt recovery process will be levied against the Lot in arrears.

**Note :** in the event any Lot needs to set up a payment plan to pay off arrears this can be done by contacting the managing agent.

**12. MANAGEMENT :**

**RESOLVED** That Alcorp Strata Management be re-appointed for a further term of 12 months .  
That the tabled management agreement be signed by 2 Owners.

**13 NOTICES:**

**RESOLVED** that each Lot now has the right to elect to receive their correspondence of agendas, & minutes along with Levy Notices via Email.

Each Lot Owner must supply written instructions to this office if they wish to adopt this process.

If no written instruction received all correspondence and notices will remain delivered by post.

**14. BUSINESS :**

- Resolved Martin to continue with Lawn and garden maintenance.
- Quotes to remove spikey Palm at front of driveway.
- Resolved Martin to pressure wash gutters and eaves, all lots
- Lot 1 Tiling concerns – Rob had completed replacement of some tiles , however they appear to be drummy still and some grout missing around edges of patio. Noted Rob had not submitted account as yet and will be requested to re-visit and inspect tiles with the owner of lot one. Prior to any payment of account.
- Window Safety Compliance , Owners have self certified and believe no windows on site need additional locking devices as they are all single level villas.

**CLOSURE:**

There being no further business, the chairperson declared the meeting closed at 6.05 pm

**Capital Works Fund****Current period**

01/02/2016-31/01/2017

**Revenue**

Levies Due--Capital Works 2,300.00

*Total revenue* 2,300.00**Less expenses**

Admin--Other Expenses--Capital Works 1,320.00

Maint Bldg--Building Improvement 13,200.00

Maint Grounds--Driveways, Paths &  
Letterboxes 3,650.00

Maint Grounds--Fencing--Boundary 90.00

*Total expenses* 18,260.00**Surplus/Deficit**

(15,960.00)

Opening balance

23,017.62

**Closing balance****\$7,057.62**

# ALCORN STRATA MANAGEMENT

ABN 24 563 807 340

M04/1

## MINUTES OF THE ANNUAL GENERAL MEETING THE OWNERS – STRATA PLAN NO. 48816

Page 1

ADDRESS OF STRATA SCHEME: 65 KAREENA ROAD, NTH MIRANDA

### DATE, PLACE & TIME OF MEETING:

The Annual General Meeting of the Owners – Strata Plan No.48816 was held on 22<sup>nd</sup> February 2016 in office of Alcorn Strata. The meeting commenced at 2pm.

### PRESENT:

### PRESENT BY PROXY:

Lots 1, 2 & 3

### IN ATTENDANCE:

Cheryl Glanville JP

### CHAIRPERSON:

1. MINUTES  
RESOLVED that the minutes of the last general meeting of the owners corporation be confirmed as a true record of the proceedings at that meeting.
2. FINANCIAL STATEMENTS:  
RESOLVED that the financial statements for the period ended 31/01/2016 be adopted.
3. AUDITOR:  
RESOLVED to not appoint an Auditor to audit future financial statements.
4. BUDGET:  
RESOLVED that the proposed budget as presented by Alcorn Strata Management be adopted / be amended.
5. CONTRIBUTIONS:  
RESOLVED that contributions to the administrative fund which are estimated in accordance with section 75(1) of the Strata Schemes Management Act 1996 and determined in accordance with section 76(1) of the Strata Schemes Management Act 1996 at \$ 5,500.00  
  
RESOLVED that contributions to the sinking fund which are estimated in accordance with section 75(2) of the Strata Schemes Management Act 1996 and determined in accordance with section 76(1) of the Strata Schemes Management Act 1996 at \$2,300.00

**MINUTES OF THE ANNUAL GENERAL MEETING  
THE OWNERS – STRATA PLAN NO. 48816**

---

**5. CONTRIBUTIONS  
CONTINUED:**

RESOLVED that contributions be paid in equal quarterly instalments, the first such instalment being due and payable on the first day of 1<sup>st</sup> January 2017 and subsequent instalments being due and payable on the first days of April ; July , October 2017

**6. EXECUTIVE  
COMMITTEE:**

RESOLVED that the number of members of the executive committee be set at 3.

RESOLVED that those elected were:  
Lot 1,2,4

**7. GENERAL  
BUSINESS:**

- Martin to continue with Lawn & garden works.
- Annual Gutter & Downpipe Clean of all Lots

**CLOSURE:**

There being no further business, the chairperson declared the meeting closed at 2.30 pm

\_\_\_\_\_  
Chairperson

\_\_\_\_\_  
Date

**Capital Works Fund**

**Current period**

01/02/2021-31/01/2022

**Revenue**

Levies Due--Capital Works

4,600.00

*Total revenue*

4,600.00

**Less expenses**

Maint Bldg--General Replacement

198.00

Maint Bldg--Roof

926.00

*Total expenses*

1,124.00

3,476.00

**Surplus/Deficit**

Opening balance

2,086.32

\$5,562.32

**Closing balance**

**Capital Works Fund****Current period**

01/02/2020-31/01/2021

**Revenue**

Levies Due--Capital Works

2,300.00

*Total revenue*2,300.00**Less expenses**

Maint Bldg--Plumbing &amp; Drainage

5,538.00

*Total expenses*5,538.00**Surplus/Deficit**(3,238.00)

Opening balance

5,324.32

**Closing balance**\$2,086.32



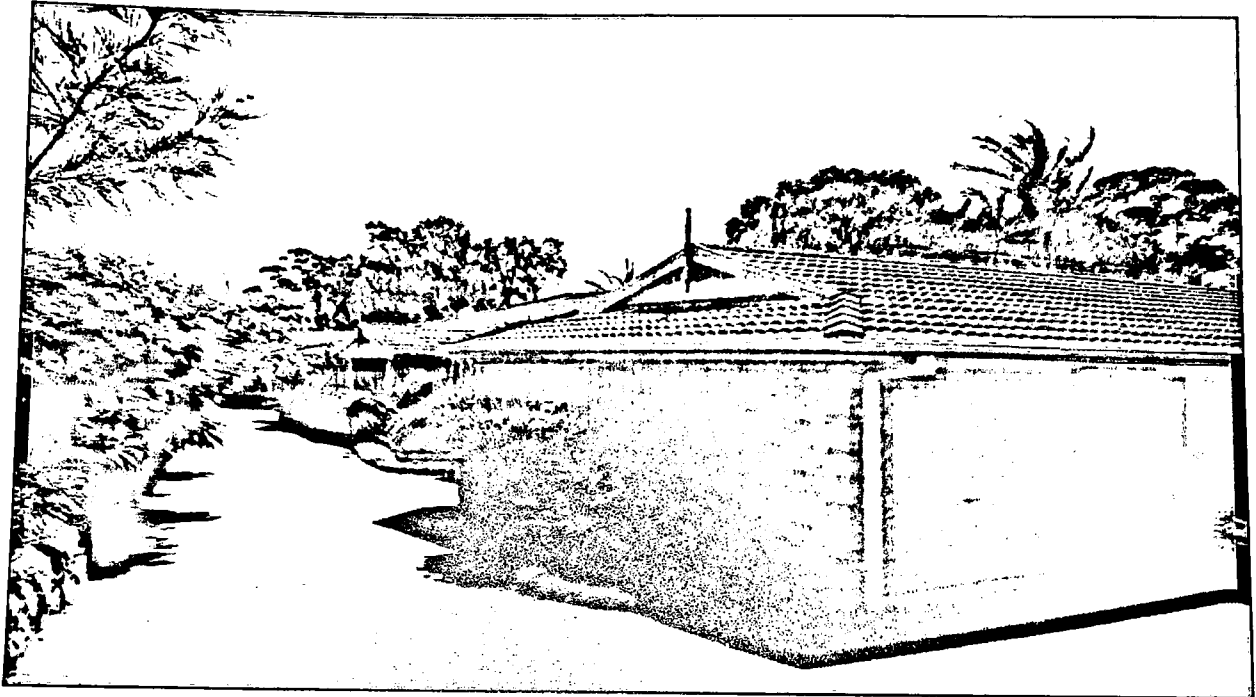
# BIV REPORTS PTY LIMITED

Asbestos Reports · WHS Reports · Building Insurance Valuations · Sinking Fund Plans

ABN 60 508 188 246

## 10 YEAR CAPITAL WORKS FUND PLAN

FEBRUARY 2018



65 KAREENA ROAD, NORTH MIRANDA :: SP48816



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**strata**  
community  
australia

# 10 Year Capital Works Fund Forecast – Costs Estimates (includes GST)

Page 3

Capital Works Fund Forecast for:										65 Kareena Road, North Miranda										Date commencing:				31 January 2018				Strata Plan:			SP48816		Page 3	
																												Today's date:			14 February 2018			
Ser- ial	Item	Current Cost Estimate	Approx year required	Escalated amount	End of Year 1	End of Year 2	End of Year 3	End of Year 4	End of Year 5	End of Year 6	End of Year 7	End of Year 8	End of Year 9	End of Year 10																				
1	Structure				Jan-19	Jan-20	Jan-21	Jan-22	Jan-23	Jan-24	Jan-25	Jan-26	Jan-27	Jan-28																				
2	Roof	\$6,500	6	\$10,315						\$10,315																								
3	Long term capital items	\$2,000	10	\$4,318										\$4,318																				
4	Appendages																																	
5	Child Window Safety Locks																																	
6	Common prop. lighting	\$2,500	2	\$2,756		\$2,756																												
7	Garage doors	\$4,500	7	\$7,712							\$7,712																							
8	Timberwork																																	
9	Elevators & equipment																																	
10	Guttering & downpipes	\$5,800	8	\$10,735								\$10,735																						
11	Common prop. doors																																	
12	Floor tiles																																	
13	External balustrade																																	
14	Inside																																	
15	Internal painting																																	
16	Carpet																																	
17	Security system																																	
18	Internal balustrade																																	
19	Outside																																	
20	External painting																																	
21	Landscaping	\$3,680	5	\$4,697					\$4,697																									
22	Fences	\$3,600	3	\$4,167			\$4,167																											
23	Retaining walls	\$4,100	4	\$4,984				\$4,984																										
24	Sealing concrete areas (1)																																	
25	Sealing concrete areas (2)																																	
26	Trip hazards	\$500	1	\$525	\$525																													
27	Storm water drains																																	
28	Pavers												\$16,992																					
29	Driveway	\$8,500	9	\$16,992																														
30	Line marking																																	
31	Mail boxes																																	
Total Estimate (rounded)		\$41,680		\$67,201	\$525	\$2,756	\$4,167	\$4,984	\$4,697	\$10,315	\$7,712	\$10,735	\$16,992	\$4,318																				

PL. 000. 0114 9800

# 10 Year Capital Works Fund Forecast – Reasoning for Costs Estimates (includes GST)

Capital Works Fund Forecast for:		65 Kareena Road, North Miranda		Date commencing:	31 January 2018	Strata Plan:	SP48816
						Today's date:	14 February 2018
Serial	Item	Current Cost Estimate	Approx year required	Comments (Allowance for)			
1	Structure						
2	Roof						
3	Long term capital items	\$6,500	6	Contribution towards the repair of the roof			
4	Appendages	\$2,000	10	Contribution towards the replacement of the long term capital items			
5	Child Window Safety Locks						
6	Common prop. lighting	\$2,500	2	Contribution towards the replacement of the common prop. lighting			
7	Garage doors	\$4,500	7	Contribution towards the repair of the garage doors			
8	Timberwork						
9	Elevators & equipment						
10	Guttering & downpipes						
11	Common prop. doors	\$5,800	8	Contribution towards the repair of the guttering & downpipes			
12	Floor tiles						
13	External balustrade						
14	Inside						
15	Internal painting						
16	Carpet						
17	Security system						
18	Internal balustrade						
19	Outside						
20	External painting						
21	Landscaping	\$3,680	5	Allowance for the renewal of the landscaping			
22	Fences	\$3,600	3	Contribution towards the repair of the fences			
23	Retaining walls	\$4,100	4	Contribution towards the repair of the retaining walls			
24	Sealing concrete areas (1)						
25	Sealing concrete areas (2)						
26	Trip hazards	\$500	1	Removal of any trip hazards			
27	Storm water drains						
28	Pavers						
29	Driveway	\$8,500	9	Contribution towards the renewal of the driveway			
30	Line marking						
31	Mail boxes						
	<b>Total Estimate (rounded)</b>	<b>\$41,680</b>					

# Recommended Annual Capital Works Fund Payment

SP48816

Page 5  
65 Kareena Road, North Miranda

End of Year	Year Ending	Recom- mended Capital Works Fund Payment	Annual % change in Capital Works Fund Payment	Adjustm't to Capital Works Fund Payment (increase/ decrease)	CW/Fund Balance + Interest + Annual CW/Fund Payment	Costs in each year refer to the table above (page 3)	Capital Works Fund Balance	Interest on the Capital Works Fund Balance
A	B	C	D	E	F	G	H	I
					H+I+C		F-G	2.75%
1	Jan-19	\$5,228			\$14,844	\$525	\$9,358	\$257
2	Jan-20	\$5,490	5.00%		\$20,203	\$2,756	\$14,319	\$394
3	Jan-21	\$5,764	5.00%		\$23,691	\$4,167	\$17,447	\$480
4	Jan-22	\$6,053	5.00%		\$26,113	\$4,984	\$19,523	\$537
5	Jan-23	\$6,355	5.00%		\$28,065	\$4,697	\$21,129	\$581
6	Jan-24	\$6,673	5.00%		\$30,684	\$10,315	\$23,369	\$643
7	Jan-25	\$7,007	5.00%		\$27,936	\$7,712	\$20,370	\$560
8	Jan-26	\$7,357	5.00%		\$28,137	\$10,735	\$20,224	\$556
9	Jan-27	\$7,725	5.00%		\$25,605	\$16,992	\$17,402	\$479
10	Jan-28	\$8,111	5.00%		\$16,962	\$4,318	\$8,614	\$237
11	Jan-29	\$8,517	5.00%		\$21,508		\$12,644	\$348
							\$21,508	\$591

Note: some figures may be rounded

Assumptions	
Base Annual Capital Works Fund contribution for Capital Items	\$6,728
Buffer (or adjustment to the base annual contribution)	-\$1,500
Recommended Annual Capital Works Fund Contribution (After Buffer)	\$5,228
Current Annual Capital Works Fund contribution (as instructed)	\$2,500
Current Capital Works Fund Balance (as instructed)	\$9,358
Annual Capital Works Fund Payment increase rate	5.00%
Adopted Investment Rate after tax	2.75%

The above table represents our Recommendation of the Annual Capital Works Fund Payments for the next 11 years. Column F includes the Capital Works Fund Balance as at the end of the previous year plus any interest earned plus the Recommended Capital Works Fund Payment for the current year. Column C (Recommended Capital Works Fund Payment) may include Extra Costs Payments (positive adjustment) or reductions in the Recommended Capital Works Fund Payment (negative adjustment) to ensure that the Capital Works Fund Balance remains positive in each year.

**First Year - Recommended Capital Works Fund Payment per Unit Entitlement and per Lot (PER ANNUM)**

SP48816

Page

65 Kareena Road, North Miranda

First Year Capital Works Fund Payment			
Lot No	Unit Entitlement	Per Annum: Year 1 Payment	Rate per U/E
1	25	\$1,307	\$52.28
2	25	\$1,307	(rounded)
3	25	\$1,307	
4	25	\$1,307	
	100	\$5,228	

### **Recommendation**

We consider that the existing Capital Works Fund Balance is very good, however an additional allowance should be maintained for any unforeseen circumstances. We consider that the current annual payments are not sufficient to meet the immediate likely expenditure. We recommend that the Owners Corporation adopt as a minimum the Capital Works Fund Payments as shown in the table below and for the following ten years.

### **Points of consideration**

We have made the following allowances:

- in year 6, contribution towards the repair of the roof, if required.
- contribution towards the replacement of the long term capital items, if required.
- contribution towards the replacement of the common prop. lighting in year 2, if required.
- contribution towards the repair of the garage doors in year 7, if required.
- in year 8, contribution towards the repair of the guttering & downpipes, if required.
- allowance for the renewal of the landscaping in year 5. The owners may wish to change the plantings, restore landscaped areas and refresh with new bark chips.
- contribution towards the repair of the fences in year 3, if required. Where appropriate, at 50% of the cost in accordance with the Dividing Fences Act, 1991.
- contribution towards the repair of the retaining walls in year 4, if required.
- removal of any trip hazards in year 1. (By the use of a concrete grinder or other appropriate means).
- in year 9, contribution towards the renewal of the driveway, if required.

Note that the Capital Works Fund Plan is only an estimate of what items may reasonably require replacement during the term of the Plan. There is no guarantee that a reasonable assessment of a future projection today may in fact come to pass, and indeed, additional items of capital repairs or replacement unforeseen at the time of preparing a Capital Works Fund Plan may occur in the immediate future. This Capital Works Fund Plan should be reviewed periodically when items are no longer required and should be removed, or new items discovered which should be added to the Plan. Funding for this Plan should be obtained from the Capital Works Fund. The shown figures are our recommendation based upon our assessment of the likely expenditure (and an allowance for expenditure) in the 10 year Capital Works Fund Plan requested. The Owners Corporation is entitled to choose whatever Capital Works Fund contributions they deem appropriate for their particular circumstances.

**Summary**

The following repair or replacement items are recommended at the times scheduled below.

Year	Year Ending	Recommended Capital Works Fund Payment (includes any Extra Costs payment)	Items
1	Jan-19	\$5,228	Trip Hazards
2	Jan-20	\$5,490	Common Prop. Lighting
3	Jan-21	\$5,764	Fences
4	Jan-22	\$6,053	Retaining Walls
5	Jan-23	\$6,355	Landscaping
6	Jan-24	\$6,673	Roof
7	Jan-25	\$7,007	Garage Doors
8	Jan-26	\$7,357	Guttering & Downpipes
9	Jan-27	\$7,725	Driveway
10	Jan-28	\$8,111	Long Term Capital Items
11	Jan-29	\$8,517	



**W. L. Dobrow FAPI FREI REIV (Aust)**

**Registered Valuer No. 515 (NSW) - Unrestricted**

**Real Estate Institute of NSW - Accredited Commercial Specialist & Accredited Practising Valuer**

**Australian Property Institute - Certified Practising Valuer**

The above assessment has been calculated in accordance with the Strata Schemes Management Act 2015. The recommendations are calculated from an amalgam of estimates and a single figure is provided for practical purposes from within a range of values and combination of a range of estimates. Areas have been calculated from our on-site measurements of the external parts of the building or the subject Strata Plan. Building plans or building surveys should be provided if the Owners Corporation requires more accurate areas. We have relied upon Rawlinsons and the advice of a quantity surveyor at times to assess the cost of replacement at the repair of items and do not accept responsibility for any errors from the above providers of source data. Our inspection of the building only includes easily accessible areas of the property at the time of inspection. We do not identify or comment on the structural integrity (pest, rot or defect, etc), building compliance, fire safety items of the improvements.

This report is for the use of the party to whom it is addressed and for no other purpose. No responsibility is accepted to any third party who may use or rely on the whole or any part of the content of this report. Neither the whole nor any part of this report or any reference thereto may be included in any public document, circular or statement or published in any way without our written approval of the form and context in which it may appear. This Capital Works Fund Plan has been prepared on the basis of instructions being for a 10 year Capital Works Fund Plan only in order to satisfy the requirements of the Act and for no other purpose. A comprehensive report should be commissioned if a party requires a more detailed report for use in litigation matters. We reserve the right to review or withdraw our report at any time. This report does not cover the property's structural condition or environmental contamination, nor is a quantitative survey. This report does not cover occupational health and safety, fire safety, nor council compliance in respect (ie. flooding, building, etc) nor should it be construed as such.

WARNING: CREASING OR FOLDING WILL LEAD TO REJECTION

OFFICE USE ONLY

PLAN OF SUBDIVISION OF LOT 101 N1/4P 84-5-393

STRATA PLAN 48016

Abay/Slane City SUTHERLAND Location: MIDLAND

Parish: SUTHERLAND County: CLACKENBURN

Production Ratio 1: 400

Proposed: 10-1-1945

CA STA 194/94 OF 10-11-1994

Proposed: STRATA PLAN

Ref: 100 - 143

Lot Plan: D.P. 84-5-393

Name of, and address for service of notices on, the body corporate  
 101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/1220/1221/1222/1223/1224/1225/1226/1227/1228/1229/1230/1231/1232/1233/1234/1235/1236/1237/1238/1239/1240/1241/1242/1243/1244/1245/1246/1247/1248/1249/1250/1251/1252/1253/1254/1255/1256/1257/1258/1259/1260/1261/1262/1263/1264/1265/1266/1267/1268/1269/1270/1271/1272/1273/1274/1275/1276/1277/1278/1279/128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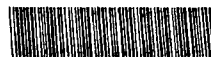
BOX 1W  
(AP763665)



NEW SOUTH WALES

# CERTIFICATE OF TITLE

REAL PROPERTY ACT, 1900



TORRENS TITLE REFERENCE

CP/SP48816

EDITION

2

DATE OF ISSUE

12/12/2019

CERTIFICATE AUTHENTICATION CODE

TD42-G3-SHRC

REGISTRAR GENERAL



I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries as appear in the Second Schedule and to any additional entries in the Folio of the Register.

LAND

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THE COMMON PROPERTY IN THE STRATA SCHEME BASED ON STRATA PLAN 48816  
WITHIN THE PARCEL SHOWN IN THE TITLE DIAGRAM

AT MIRANDA.

LOCAL GOVERNMENT AREA: SUTHERLAND SHIRE.

PARISH OF SUTHERLAND COUNTY OF CUMBERLAND

TITLE DIAGRAM: SHEET 1 SP48816

FIRST SCHEDULE

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THE OWNERS - STRATA PLAN NO. 48816

ADDRESS FOR SERVICE OF NOTICES:

65 KAREENA ROAD NORTH

MIRANDA 2228

SECOND SCHEDULE

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1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
2. A53575 LAND EXCLUDES MINERALS AFFECTING THE PART(S) SHOWN SO BURDENED IN DP845393
3. D625020 LAND EXCLUDES MINERALS AND IS SUBJECT TO RIGHTS TO MINE AFFECTING THE PART(S) SHOWN SO BURDENED IN DP845393
4. DP845393 EASEMENT TO DRAIN WATER 1 WIDE, 3.5 WIDE AND VARIABLE WIDTH AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
5. AP763665 CONSOLIDATION OF REGISTERED BY-LAWS
6. AP763665 INITIAL PERIOD EXPIRED

SCHEDULE OF UNIT ENTITLEMENT (AGGREGATE: 100)

STRATA PLAN 48816

LOT	ENT	LOT	ENT	LOT	ENT
1	- 25	2	- 25	3	- 25

\*\*\*\* END OF CERTIFICATE \*\*\*\*

**CONSOLIDATION/  
CHANGE OF BY-LAWS**

New South Wales  
Strata Schemes Management Act 2015  
Real Property Act 1900

Leave this space clear. Affix additional  
pages to the top left-hand corner.

**PRIVACY NOTE:** Section 31B of the Real Property Act 1900 (RP Act) authorises the Registrar General to collect the information required by this form for the establishment and maintenance of the Real Property Act Register. Section 96B RP Act requires that the Register is made available to any person for search upon payment of a fee, if any.

(A) TORRENS TITLE	For the common property CP/SP48816		
(B) LODGED BY	Document Collection Box  <b>1W</b>	Name, Address or DX, Telephone, and Customer Account Number if any Bylaws Assist PO Box: 8274, Baulkham Hills, NSW, 2153 +61 411 777 557 (LRS Customer Account Number: 135632E)  Reference: BLA/2480	CODE  <b>CH</b>

- (C) The Owners-Strata Plan No. 48816 certify that a special resolution was passed on 2/7/2019
- (D) pursuant to the requirements of section 141 of the Strata Schemes Management Act 2015, by which the by-laws were changed as follows—
- (E) Repealed by-law No. 1 - 19  
Added by-law No. 1 - 18  
Amended by-law No.  
as fully set out below:

Please see attached in "Annexure 1" to the 15CH Form the Consolidated By-laws for Strata Plan 48816 which includes new Added By-law No.1 to 18 starting from Page 2 of 7 respectively.

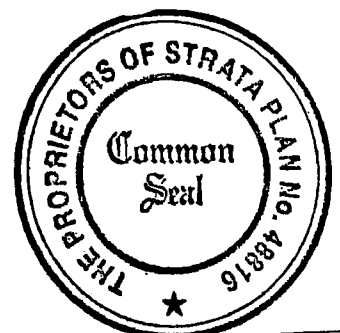
- (F) A consolidated list of by-laws affecting the above mentioned strata scheme and incorporating the change referred to at Note (E) is annexed hereto and marked as Annexure 1
- (G) The seal of The Owners-Strata Plan No. 48816 was affixed on 6-12-2019 in the presence of the following person(s) authorised by section 273 Strata Schemes Management Act 2015 to attest the affixing of the seal:

Signature: *[Handwritten Signature]*  
Name: *Andrew G. [unclear]*  
Authority: *Strata Manager*

Signature:

Name:

Authority:



ANNEXURE 1 TO CHANGE OF BY-LAWS FORM 15CH

STRATA SCHEME 48816

Schedule 3 - Model by-laws for residential strata schemes

1. Vehicles

An owner or occupier of a lot must not park or stand any motor vehicle on common property or permit a vehicle to be parked or stood on common property in such a way to block or hinder other lots. Except with the prior written approval of the Owners corporation or as permitted by a sign authorised by the Owners Corporation.

2. Changes to common property

- (1) An owner or person authorised by an owner may install, without the consent of the owners corporation:
  - (a) any locking or other safety device for protection of the owner's lot against intruders or to improve safety within the owner's lot, or
  - (b) any screen or other device to prevent entry of animals or insects on the lot, or
  - (c) any structure or device to prevent harm to children.
- (2) Any such locking or safety device, screen, other device or structure must be installed in a competent and proper manner and must have an appearance, after it has been installed, in keeping with the appearance of the rest of the building.
- (3) Clause (1) does not apply to the installation of anything that is likely to affect the operation of fire safety devices in the lot or to reduce the level of safety in the lots or common property.
- (4) The owner of a lot must:
  - (a) maintain and keep in a state of good and serviceable repair any installation or structure referred to in clause (1) that forms part of the common property and that services the lot, and
  - (b) repair any damage caused to any part of the common property by the installation or removal of any locking or safety device, screen, other device or structure referred to in clause (1) that forms part of the common property and that services the lot.

3. Damage to lawns and plants on common property

An owner or occupier of a lot must not, except with the prior written approval of the owners corporation:

- (a) damage any lawn, garden, tree, shrub, plant or flower being part of or situated on common property, or
- (b) use for his or her own purposes as a garden any portion of the common property.

4. Obstruction of common property

An owner or occupier of a lot must not obstruct lawful use of common property by any person except on a temporary and non-recurring basis

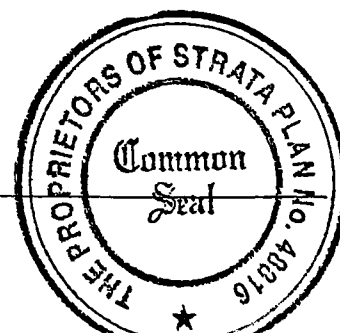
The seal of The Owners-Strata Plan No 48816 was affixed on 6-12-2019 in the presence of the following person(s) authorised by section 273 Strata Schemes Management Act 2015 to attest the affixing of the seal

Signature(s): [Signature]

Name(s) [use block letters]: CHERYL CHAMBERS

Authority: Strata Manager

ALL HANDWRITING MUST BE IN BLOCK CAPITALS  
1705



## 5. Keeping of animals

### Option B

- (1) An owner or occupier of a lot may keep an animal on the lot or the common property with the written approval of the owners corporation.
- (2) The owners corporation must not unreasonably withhold its approval of the keeping of an animal on a lot or the common property and must give an owner or occupier written reasons for any refusal to grant approval.
- (3) If an owner or occupier of a lot keeps an animal on the lot, the owner or occupier must:
  - (a) keep the animal within the lot, and
  - (b) supervise the animal when it is on the common property, and
  - (c) take any action that is necessary to clean all areas of the lot or the common property that are soiled by the animal.
  - (d) take any action necessary to prevent any disturbance by the animal to the peaceful enjoyment of other lot owners and their Lots.
- (4) An owner or occupier of a lot who keeps an assistance animal on the lot must, if required to do so by the owners corporation, provide evidence to the owners corporation demonstrating that the animal is an assistance animal as referred to in section 9 of the *Disability Discrimination Act 1992* of the Commonwealth.

## 6. Noise

An owner or occupier of a lot, or any invitee of an owner or occupier of a lot, must not create any noise on a lot or the common property likely to interfere with the peaceful enjoyment of the owner or occupier of another lot or of any person lawfully using common property.

## 7. Behaviour of owners, occupiers and invitees

- (1) An owner or occupier of a lot, or any invitee of an owner or occupier of a lot, when on common property must be adequately clothed and must not use language or behave in a manner likely to cause offence or embarrassment to the owner or occupier of another lot or to any person lawfully using common property.
- (2) An owner or occupier of a lot must take all reasonable steps to ensure that invitees of the owner or occupier:
  - (a) do not behave in a manner likely to interfere with the peaceful enjoyment of the owner or occupier of another lot or any person lawfully using common property, and
  - (b) without limiting paragraph (a), that invitees comply with clause (1).

## 8. Children playing on common property

- (1) Any child for whom an owner or occupier of a lot is responsible may play on any area of the common property that is designated by the owners corporation for that purpose but may only use an area designated for swimming while under adult supervision.
- (2) An owner or occupier of a lot must not permit any child for whom the owner or occupier is responsible, unless accompanied by an adult exercising effective control, to be or remain on common property that is a laundry, car parking area or other area of possible danger or hazard to children.

## 9. Smoke penetration

### Option A

- (1) An owner or occupier, and any invitee of the owner or occupier, must not smoke tobacco or any other substance on the common property.

- (2) An owner or occupier of a lot must ensure that smoke caused by the smoking of tobacco or any other substance by the owner or occupier, or any invitee of the owner or occupier, on the lot does not penetrate to the common property or any other lot.

**10. Preservation of fire safety**

The owner or occupier of a lot must not do anything or permit any invitees of the owner or occupier to do anything on the lot or common property that is likely to affect the operation of the fire safety devices in the parcel or to reduce the level of fire safety in the lots or common property.

**11. Storage of inflammable liquids and other substances and materials**

- (1) An owner or occupier of a lot must not, except with the prior written approval of the owners corporation, use or store on the lot or on the common property any inflammable chemical, liquid or gas or other inflammable material.
- (2) This by-law does not apply to chemicals, liquids, gases or other material used or intended to be used for domestic purposes, or any chemical, liquid, gas or other material in a fuel tank of a motor vehicle or internal combustion engine.

**12. Appearance of Lot**

- (1) The owner or occupier of a lot must not, without the prior written approval of the owners corporation, maintain within the lot anything visible from outside of the lot that, viewed from outside of the lot, is not in keeping with the rest of the building.
- (2) This by-law does not apply to the hanging of any clothing, towel, bedding or other article of a similar type in accordance with by-law 14.

**13. Cleaning windows and doors**

- (1) Except in the circumstances referred to in clause (2), an owner or occupier of a lot is responsible for cleaning all interior and exterior surfaces of glass in windows and doors on the boundary of the lot, including so much as is common property.
- (2) The owners corporation is responsible for cleaning regularly all exterior surfaces of glass in windows and doors that cannot be accessed by the owner or occupier of the lot safely or at all.

**14. Hanging out of washing**

- (1) An owner or occupier of a lot may hang any washing on any lines provided by the owners corporation for that purpose. The washing may only be hung for a reasonable period.
- (2) An owner or occupier of a lot may hang washing on any part of the lot other than over the balcony railings. The washing may only be hung for a reasonable period.
- (3) In this by-law:

*Washing* includes any clothing, towel, bedding or other article of a similar type.

**15. Disposal of waste – bins for individual lots [applicable where individual lots have bins]**

- (1) An owner or occupier of a lot must not deposit or throw on the common property any rubbish, dirt, dust or other material or discarded item except with the prior written approval of the owners corporation.
- (2) An owner or occupier of a lot must not deposit in a toilet, or otherwise introduce or attempt to introduce into the plumbing system, any item that is not appropriate for any such disposal (for example, a disposable nappy)
- (3) An owner or occupier must:
- (a) comply with all reasonable directions given by the owners corporation as to the disposal and storage of waste (including the cleaning up of spilled waste) on common property, and



- (b) comply with local council's guidelines for the storage, handling, collection and disposal of waste.
- (4) An owner or occupier of a lot must maintain bins for waste within the lot, or on any part of the common property that is authorised by the owners corporation, in clean and dry condition and appropriately covered.
- (5) An owner or occupier of a lot must not place anything in the bins of the owner or occupier of any other lot except with the permission of that owner or occupier.
- (6) An owner or occupier of a lot must place the bins within an area designated for collection by the owners corporation not more than 12 hours before the time at which waste is normally collected and, when the waste has been collected, must promptly return the bins to the lot or other area authorised for the bins.
- (7) An owner or occupier of a lot must notify the local council of any loss of, or damage to, bins provided by the local council for waste.
- (8) The owners corporation may give directions for the purposes of this by-law by posting signs on the common property with instructions on the handling of waste that are consistent with the local council's requirements or giving notices in writing to owners or occupiers of lots.
- (9) In this by-law:
- bin* includes any receptacle for waste.
- waste* includes garbage and recyclable material.

**16. Disposal of waste – shared bins [applicable where bins are shared by lots]**

- (1) An owner or occupier of a lot must not deposit or throw on the common property any rubbish, dirt, dust or other material or discarded item except with the prior written approval of the owners corporation.
- (2) An owner or occupier of a lot must not deposit in a toilet, or otherwise introduce or attempt to introduce into the plumbing system, any item that is not appropriate for any such disposal (for example, a disposable nappy).
- (3) An owner or occupier must:
- (a) comply with all reasonable directions given by the owners corporation as to the disposal and storage of waste (including the cleaning up of spilled waste) on common property, and
- (b) comply with the local council's guidelines for the storage, handling, collection and disposal of waste.
- (4) The owners corporation may give directions for the purposes of this by-law by posting signs on the common property with instructions on the handling of waste that are consistent with the local council's requirements or giving notices in writing to owners or occupiers of lots.
- (5) In this by-law:
- bin* includes any receptacle for waste.
- waste* includes garbage and recyclable material.

**17. Change in use or occupation of lot to be notified**

- (1) An occupier of a lot must notify the owners corporation if the occupier changes the existing use of the lot;
- (2) Without limiting clause (1), the following changes of use must be notified:
- (a) a change that may affect the insurance premiums for the strata scheme (for example, if the change of use results in hazardous activity being carried out on the lot, or results in the lot being used for commercial or industrial purposes rather than residential purposes).
- (b) a change to the use of the lot for short-term or holiday letting.



- (3) The notice must be given in writing at least 21 days before the change occurs or a lease or sublease commences.

18. **Compliance with planning and other requirements**

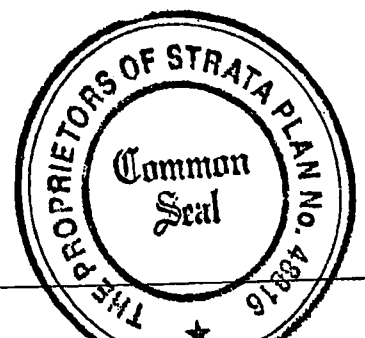
- (1) The owner or occupier of a lot must ensure that the lot is not used for any purpose that is prohibited by law.
- (2) The owner or occupier of a lot must ensure that the lot is not occupied by more persons than are allowed by law to occupy the lot.

The seal of The Owners-Strata Plan No 48816 was affixed on 6-12-2019 in the presence of the following person(s) authorised by section 273 Strata Schemes Management Act 2015 to attest the affixing of the seal

Signature(s): [Signature]

Name(s) [use block letters]: CHEYL ANANILLO

Authority: STRATA MANAGER



Approved Form 10

Certificate re Initial Period

The owners corporation certifies that in respect of the strata scheme:

\*that the initial period has expired.

~~\*the original proprietor owns all of the lots in the strata scheme and any purchaser under an exchanged contract for the purchase of a lot in the scheme has consented to any plan or dealing being lodged with this certificate.~~

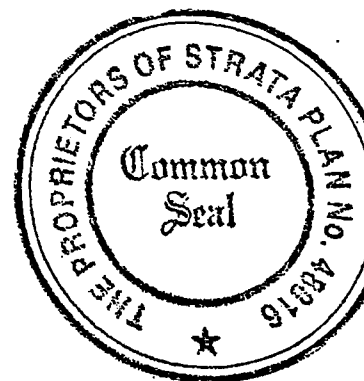
The seal of The Owners - Strata Plan No 48816 was affixed on ^ 6-12-2019 in the presence of the following person(s) authorised by section 273 Strata Schemes Management Act 2015 to attest the affixing of the seal.

Signature: [Signature] Name: CHERYL CANNILLER Authority: STRATA MANAGER

Signature: ..... Name: ..... Authority: .....

^ Insert appropriate date

\* Strike through if inapplicable.



NEW SOUTH WALES

**CERTIFICATE OF TITLE**  
REAL PROPERTY ACT, 1900



**TORRENS TITLE**

REFERENCE TO FOLIO OF THE REGISTER

IDENTIFIER

CP/SP48816

EDITION

1

DATE OF ISSUE

11. 1. 1995

I certify that the person described in the First Schedule is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries as appear in the Second Schedule and to any additional entries in the Folio of the Register.

*K. Melle*

REGISTRAR GENERAL



LAND

THE COMMON PROPERTY IN THE STRATA SCHEME BASED ON STRATA  
PLAN 48816 WITHIN THE PARCEL SHOWN IN THE TITLE DIAGRAM

AT MIRANDA

LOCAL GOVERNMENT AREA: SUTHERLAND

PARISH OF SUTHERLAND COUNTY OF CUMBERLAND

TITLE DIAGRAM: SH 1 SP48816

**FIRST SCHEDULE**

THE PROPRIETORS - STRATA PLAN NO. 48816

ADDRESS FOR SERVICE OF NOTICES: 65 KAREENA ROAD NORTH MIRANDA  
2228

**SECOND SCHEDULE**

1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
2. A53575 LAND EXCLUDES MINERALS AFFECTING THE PART(S) SHOWN  
SO BURDENED IN DP845393
3. D625020 LAND EXCLUDES MINERALS AND IS SUBJECT TO RIGHTS TO  
MINE AFFECTING THE PART(S) SHOWN SO BURDENED IN  
DP845393
4. DP845393 EASEMENT TO DRAIN WATER 1 WIDE, 3.5 WIDE AND  
VARIABLE WIDTH AFFECTING THE PART(S) SHOWN SO  
BURDENED IN THE TITLE DIAGRAM

SCHEDULE OF UNIT ENTITLEMENT (AGGREGATE: 100)

LOTS 1 - 4 INCLUSIVE IN SP48816: 25 EACH

