

DRAWING LIST				
Sheet Number	Sheet Name	Amend	Description	Sheet Issue Date
01 - 01	COVER SHEET		PRE DEVELOPMENT APPLICATION	19.12.2019
02 - 01	SITE PLAN		PRE DEVELOPMENT APPLICATION	19.12.2019
02 - 02	GROUND FLOOR PLAN		PRE DEVELOPMENT APPLICATION	19.12.2019
03 - 01	ELEVATIONS		PRE DEVELOPMENT APPLICATION	19.12.2019
03 - 02	ELEVATIONS		PRE DEVELOPMENT APPLICATION	19.12.2019
03 - 03	SECTIONS		PRE DEVELOPMENT APPLICATION	19.12.2019

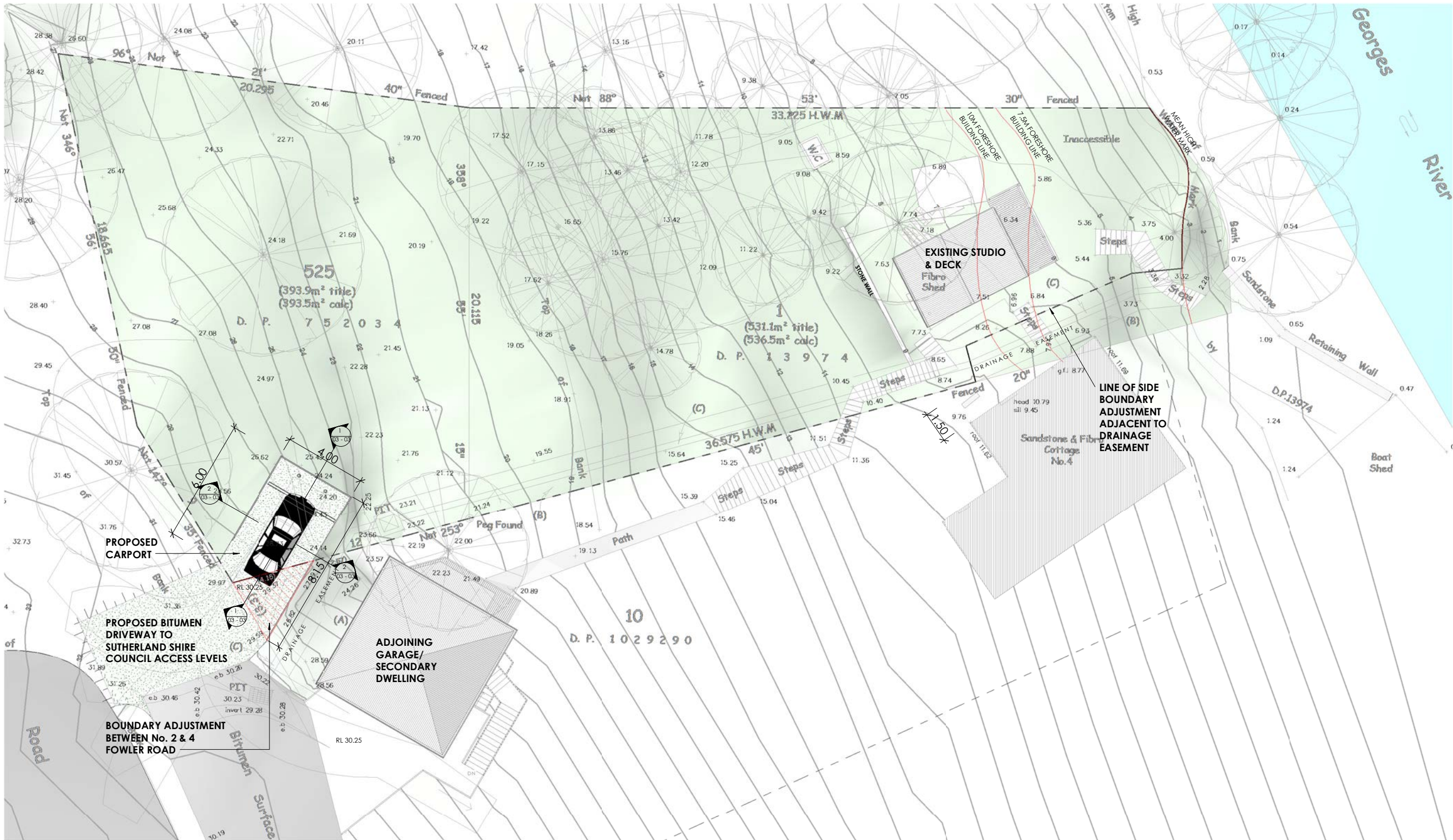
PROPOSED USE OF EXISTING COTTAGE STUDIO AS RESIDENCE, CAR DECK + ASSOCIATED ROAD WORKS AND BOUNDARY ADJUSTMENT

FOR
MR T BASTOW
AT
2 FOWLER ROAD, ILLAWONG NSW
PRE - DEVELOPMENT APPLICATION

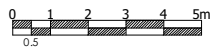
19.12.2019
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20/12/2019 11:41:55 AM

JMH Living Design
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1 SITE PLAN
1:100



AMENDMENTS

DRAWING TITLE

SITE PLAN

PROJECT STATUS

PRE - DEVELOPMENT
APPLICATION

CLIENT

MR T BASTOW

PROJECT

PROPOSED USE OF EXISTING
COTTAGE STUDIO AS RESIDENCE,
CAR DECK + ASSOCIATED ROAD
WORKS AND BOUNDARY
ADJUSTMENT

ADDRESS

2 FOWLER ROAD, ILLAWONG
NSW

Date:

19.12.2019

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02 - 01

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JMH

Sheet Size:

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Use written dimensions in preference to scaled dimensions.

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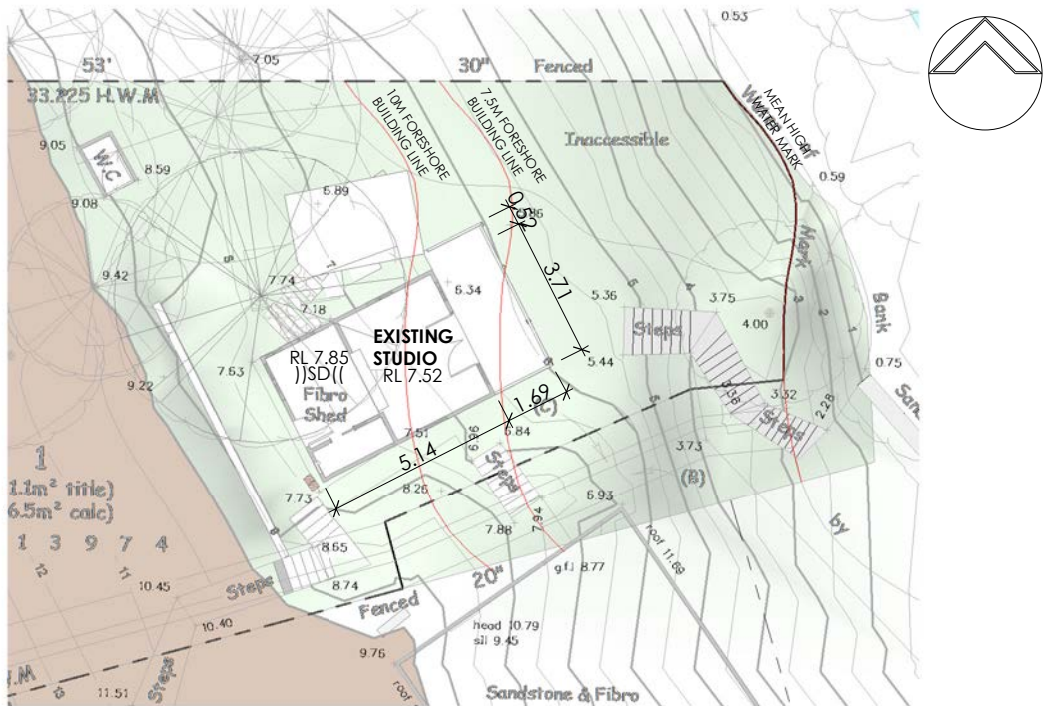
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Industry Member of:



Company





1 GROUND FLOOR PLAN
1 : 100

RWT/BB
H.B.255/2

19th December, 1974

Registrar,
Local Government Appeals Tribunal,
P.O. Box K 199,
HAYMARKET. 2000

Dear Sir,

R.G. MacPhail v Sutherland Shire Council

Enclosed for the Tribunal's attention is a copy of Form 2 submitted by Mr. MacPhail and duly completed by Council.

The property in question of which Mr. MacPhail is the owner is Lot 1 D.P.15974 (No.2) Fowler Road, Illawong and its location is indicated on the attached sketch. The basis of Mr. MacPhail's appeal which relates to a relaxation of the 100ft. foreshore building line as required by I.D.O.No.23 to 7.5 metres, has been considered and Council has agreed to support this application. Relevant facts relating to this matter which should be brought to the Tribunal's attention are:

1. Council's draft development control plan which is currently being examined for this particular area of Mennai, does in fact indicate a 7.5 metre foreshore building on Mr.MacPhail's property. This is therefore consistent with his appeal.
2. The allotment in question is steep and located in a bushland setting at the end of Fowler Road and unless the foreshore building line is relaxed, it is doubtful whether a residence could be erected on the site.
3. Due to the nature of the site and the immediate surrounding area, it is considered that there will be no adverse affect on the natural environment as a result of the reduction in the foreshore building line to 7.5 metres for this property.

Council therefore supports this appeal which will require a variation to Interim Development Order No.23 in respect to Mr. MacPhail's property.

Yours faithfully,
(A.G. Hill)
Shire Clerk

File 23/12/74. Noted - File R 23-12-74

- 2 GENERAL NOTES
- 1)SD((DENOTES LOCATION OF APPROVED SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.7.4
- STORMWATER TO BE DIRECTED TO DRAINAGE EASEMENT
- RC SLABS, SUSPENDED RC SLABS, PIERS, BEAMS & FOOTINGS TO STRUCTURAL ENGINEER'S DETAILS

AMENDMENTS

DRAWING TITLE

GROUND FLOOR PLAN

PROJECT STATUS

PRE - DEVELOPMENT APPLICATION

PROJECT

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Drawing No:	19 17	
Sheet No:	02 - 02	
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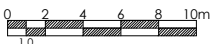
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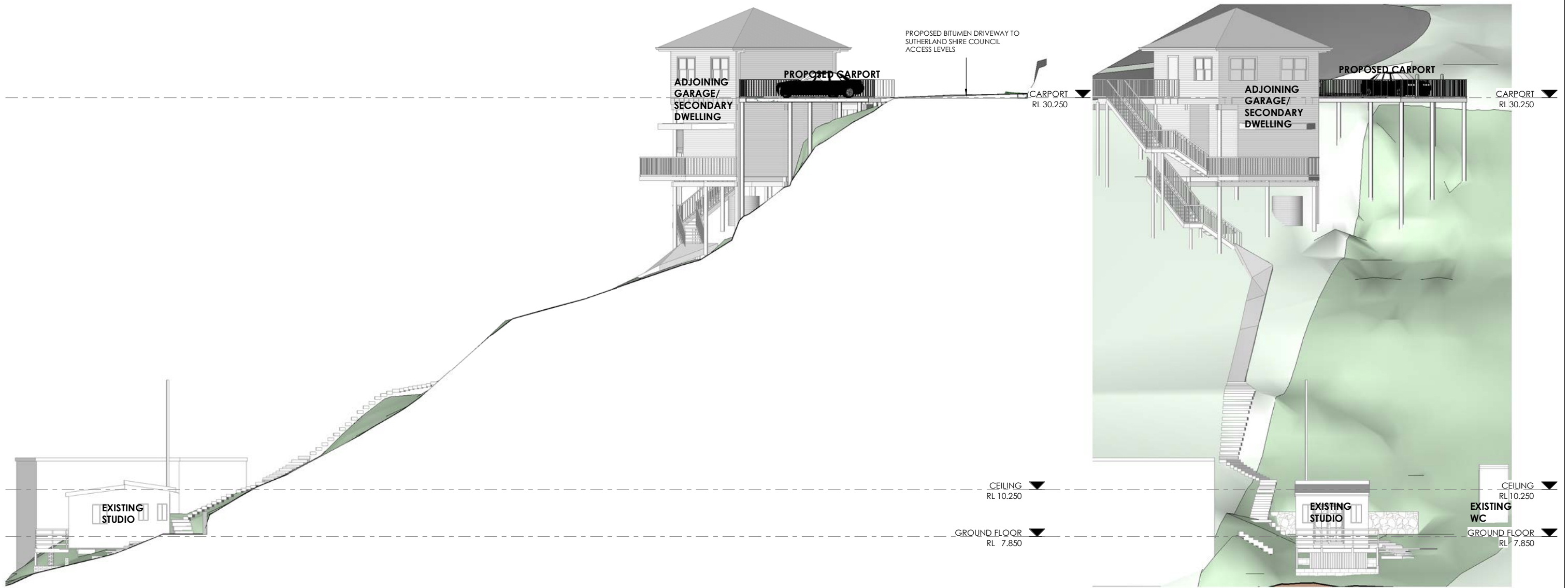
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1 NORTH ELEVATION
1 : 100

2 EAST ELEVATION
1 : 100

AMENDMENTS

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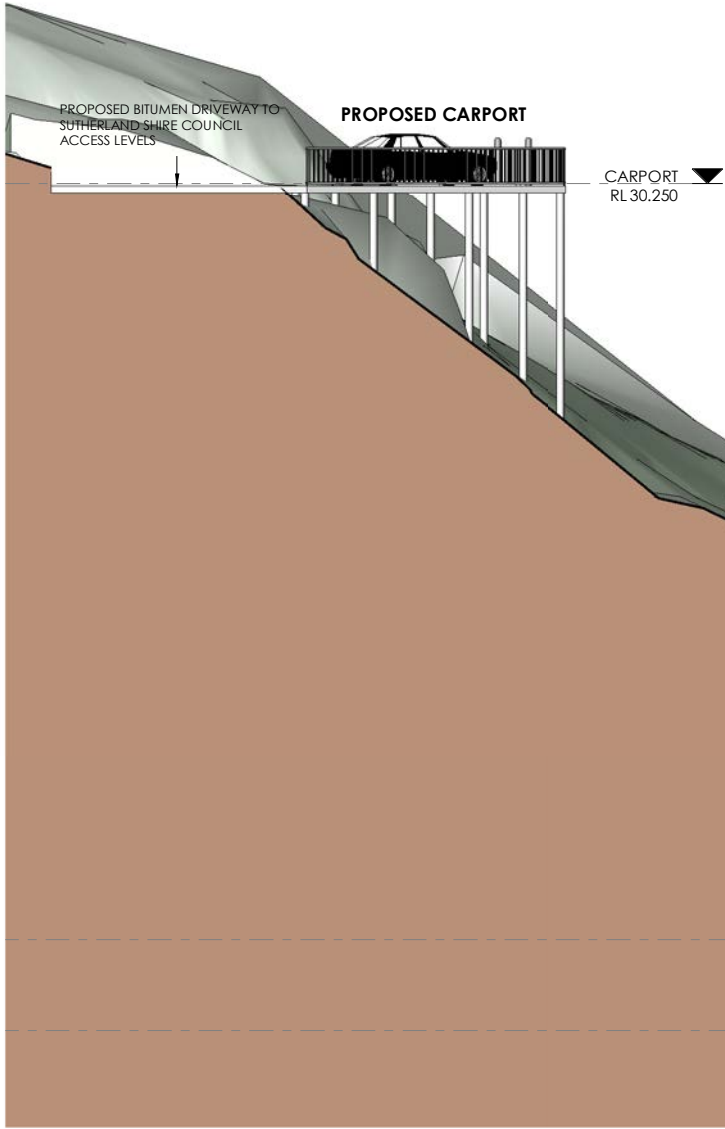
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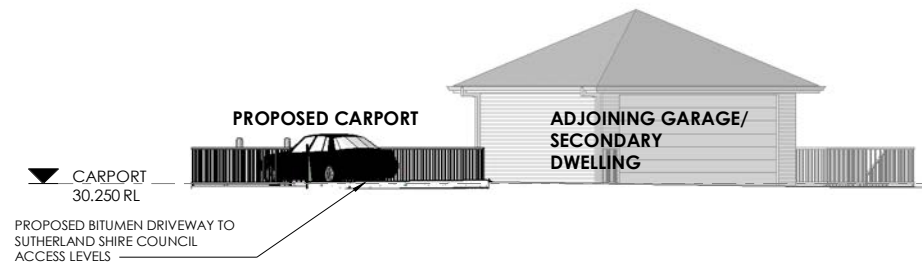


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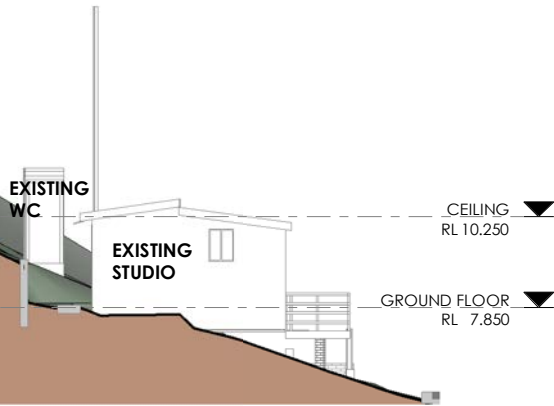




1 SOUTH ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100



AMENDMENTS
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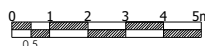
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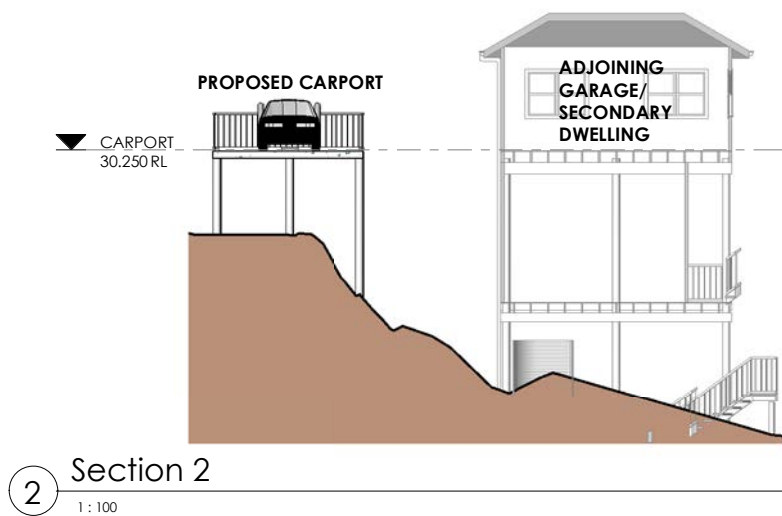
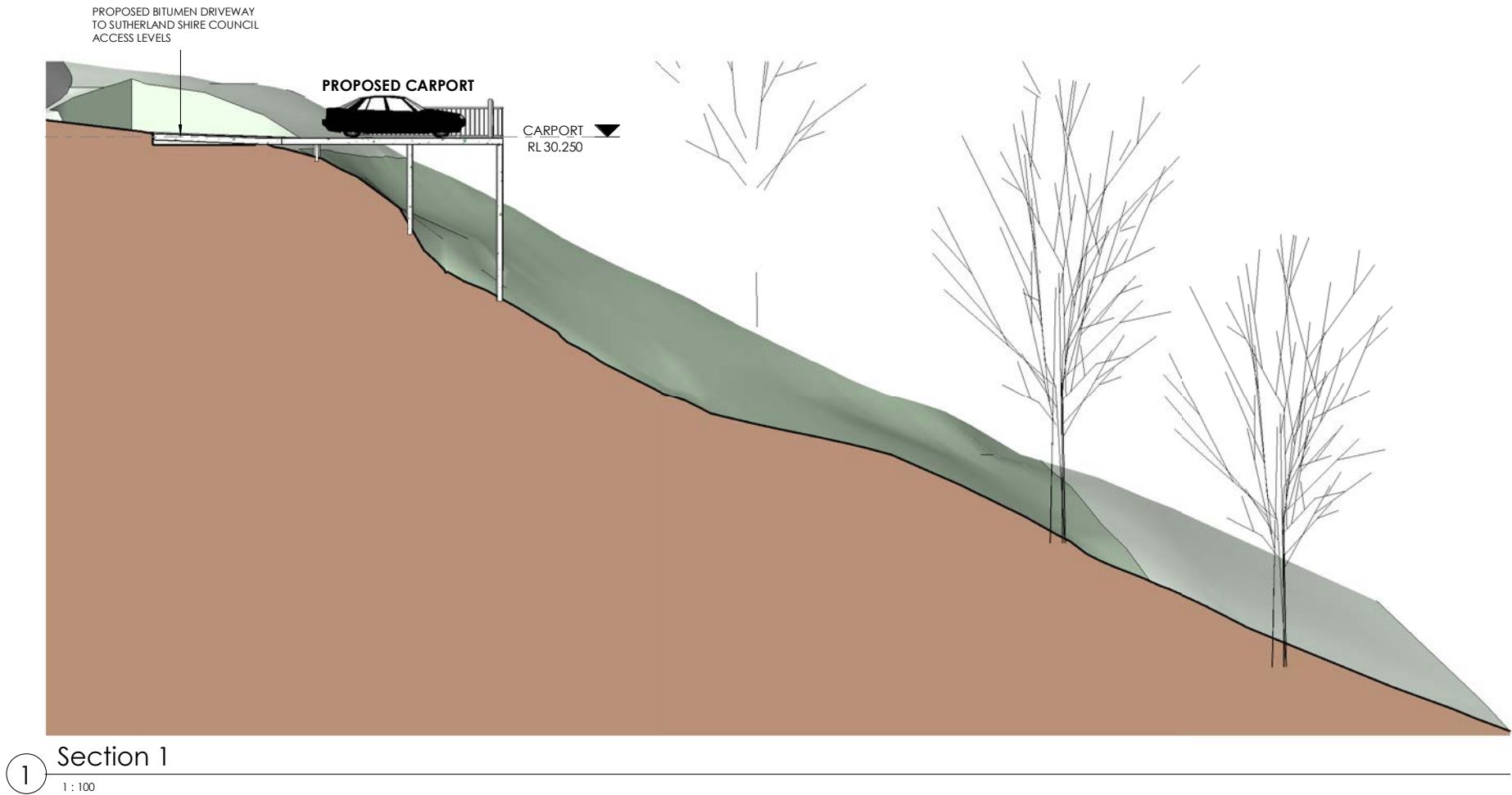
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