

TYPE: D13
SERVICE CUPBOARD IN LOBBY TBC

- FRAME TYPE 3
- SOLID CORE
- INTERNAL SELF-CLOSING
- SMOKE SEAL
- NON-COMBUSTIBLE BACKING
- ROLLER BOLT TOP & BARREL BOLT BOTTOM
- PROVISION OF A LOCK TO KEEP DOOR SECURED IN ACCORDANCE WITH AS2419.1

TYPE: D14
GARBAGE CHUTE DOOR IN OUTSIDE LOBBY

- FRL - /120/30
- FRAME TYPE 3
- SOLID CORE
- INTERNAL SELF-CLOSING & HOLD OPEN DEVICE
- SMOKE SEAL
- NON-COMBUSTIBLE BACKING
- PROVISION OF A LOCK TO KEEP DOOR SECURED IN ACCORDANCE WITH AS2419.1
- PROVIDE WEATHER SEAL

TYPE: D15
HYDRANT PUMP ROOM DOOR

- FRL - /120/30
- FRAME TYPE B
- SOLID CORE
- INTERNAL SELF-CLOSING
- PROVISION OF A LOCK TO KEEP DOOR SECURED IN ACCORDANCE WITH AS2419.1

TYPE: D16
SWITCH ROOM DOOR

- FRL - /120/30
- FRAME TYPE B
- SOLID CORE
- SELF-CLOSING
- FIRE DOOR SIGNAGE & NSW FIRE DOOR OFFENSE PLATES AS REQUIRED
- PROVISION OF A LOCK TO KEEP DOOR SECURED IN ACCORDANCE WITH AS2419.1
- PROVIDE UNDERCUT TO BOTTOM OF DOOR - REFER TO MECHANICAL ENG'S REQUIREMENTS

TYPE: D17
GARBAGE HOLDING ROOM DOOR

- FRL - /120/30
- FRAME TYPE B
- SOLID CORE
- INTERNAL SELF-CLOSING & HOLD OPEN DEVICE
- ROLLER BOLT TOP & BARREL BOLT BOTTOM WITH SECURITY SELECTOR

TYPE: D18
NBN ROOM DOOR

- FRL - /120/30
- FRAME TYPE B
- SOLID CORE
- INTERNAL SELF-CLOSING
- PROVISION OF A LOCK TO KEEP DOOR SECURED IN ACCORDANCE WITH AS2419.1

TYPE: D19
SERVICE ROOM DOOR TBC

- FRAME TYPE B
- SOLID CORE
- INTERNAL SELF-CLOSING
- PROVISION OF A LOCK TO KEEP DOOR SECURED IN ACCORDANCE WITH AS2419.1

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| L4 | 1 |
| TOTAL | 1 |

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| GF | 2 |
| L1 | 2 |
| L2 | 2 |
| L3 | 2 |
| L4 | 2 |
| TOTAL | 10 |

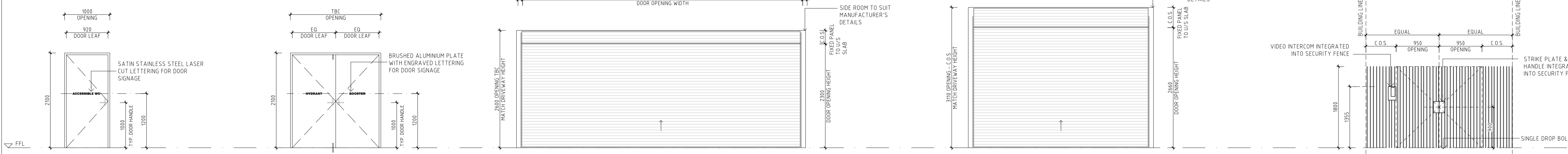
| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| B2 | 2 |
| TOTAL | 2 |

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| B1 | 2 |
| TOTAL | 2 |

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| B1 | 1 |
| TOTAL | 1 |

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| GF | 1 |
| TOTAL | 1 |

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| GF | 1 |
| TOTAL | 1 |



TYPE: D20
ACCESSIBLE WC DOOR

- FRL - /120/30
- FRAME TYPE B
- SOLID CORE
- INTERNAL SELF-CLOSING
- LIFT OFF HINGES
- PRIVACY LOCK
- PROVIDE UNDERCUT TO BOTTOM OF DOOR - REFER TO MECHANICAL ENG'S REQUIREMENTS

TYPE: D21
EXTERNAL HYDRANT BOOSTER DOORS

- ROLLER BOLT TOP & BARREL BOLT BOTTOM
- PROVISION OF A LOCK TO KEEP DOOR SECURED IN ACCORDANCE WITH AS2419.1

D22 - INTERNAL GARAGE ROLLER DOOR TO B1

- FRL TO BE CONFIRMED
- SECURITY MESH PANELS
- ALUMINUM POWDERCOAT FINISH
- MESH OPENING TO MECHANICAL ENGINEER'S REQUIREMENTS

D23 - INTERNAL GARAGE ROLLER DOOR TO B2

- FRL - /120/-
- SECURITY MESH PANELS
- ALUMINUM POWDERCOAT FINISH
- MESH OPENING TO MECHANICAL ENGINEER'S REQUIREMENTS

D24 - SECURITY ENTRANCE GATE

- METAL GATE POWDER COATED BALUSTERS
- VIDEO INTERCOM
- STRIKE PLATE INTEGRATED WITH SELECTED DOOR HANDLE
- DULUX PAINT FINISH TBC
- SINGLE DROP BOLT

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| GF | 1 |
| TOTAL | 1 |

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| GF | 1 |
| TOTAL | 1 |

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| B1 | 1 |
| TOTAL | 1 |

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| B1 | 1 |
| TOTAL | 1 |

| LEVEL: | NO. OF DOORS: |
|--------------|---------------|
| GF | 1 |
| TOTAL | 1 |

- GENERAL NOTES:**
- All work to comply with Building Code of Australia, requirements of relevant Statutory Authorities / Local Government & relevant Australian Building Standards
 - Contractor to verify all dimensions on site before commencing work - should a discrepancy be identified please confirm with Architect prior to proceeding (DO NOT SCALE FROM DRAWINGS)
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 - Setback lines shown as per DA drawings and council requirements. Do not use for setout
 - Drawings for D&C used during CONSTRUCTION subject to receiving final confirmation and drawings from services contractor
- LEGEND:**
- | | | | |
|-----|-----------------------------------|-----|-----------------------------------|
| AW | AWNING | MB | MAILBOX TO FUTURE DETAIL |
| BS | BATTEN SCREEN | MV | MECHANICAL RISER TO FUTURE DETAIL |
| CL | WALL MOUNTED FOLDING CLOTHES LINE | OP | OPAGUE WINDOW |
| CU | A/C CONDENSER UNITS | PB | PRE-FABRICATED |
| FH | FIRE HYDRANT | PS | PLANTERBOX |
| FHR | FIRE HOSE REEL | PS | SLIDING PRIVACY SCREEN |
| FS | FIRE STAIRS | R | RECYCLING BIN |
| G | GARBAGE BIN | RCL | RETRACTABLE CLOTHES LINE |
| GC | GARBAGE CHUTE | SK | SKY LIGHT |
| HL | HIGHLIGHT WINDOW | ST | STORAGE |
| MA | ROOF HATCH ACCESS | | |

- DOOR / WINDOW LEGEND:**
- DOOR TYPE NO. WINDOW NO.
- REFER A6000 DRAWINGS SERIES - DOOR & WINDOW SCHEDULES FOR DETAILS

CONSTRUCTION CERTIFICATE NO.
8899-02-2019-CC

DATE ISSUED: 25/06/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR AEAD
ACCREDITATION NO. BPB0203

| ISSUE | DATE | DESCRIPTION |
|-------|------------|---|
| 1 | 07.06.2019 | ISSUED FOR D&C USED DURING CONSTRUCTION |
| B | 02.05.2019 | UPDATE AS PER FER |
| A | 12.04.2019 | ISSUED FOR REVIEW |

CLIENT: **LORDS GROUP**
P - 02 9191 0622
Level 7/80 George St, Parramatta NSW 2150

ARCHITECT: **PBD ARCHITECTS**
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
11-15 MITCHELL AVENUE, JANNALI

JANUARY 2019

DRAWING TITLE:
DOOR SCHEDULE 02

| | | |
|---------------------------------|-----------------------------|--------------------|
| SCALE: 1:10 @ A1 / 1:20 @ A3 | DRAWING NO: A6102 | ISSUE: 1 |
| PROJECT NO: 1747 | | |

THIS DRAWING IS ISSUED FOR D&C USED DURING CONSTRUCTION
SUBJECT TO FINAL COORDINATION AND INTEGRATION OF ENGINEERS' DETAILS
AND OTHER SERVICES DESIGN ISSUED FOR CONSTRUCTION

- GENERAL NOTES:**
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 - Area schedules supplied are approximate only - future allowance for vertical service ducts, structural wall systems and consultant input will be required.
 - Setback lines shown as per DA drawings and council requirements. Do not use for setback drawings for services contractors.

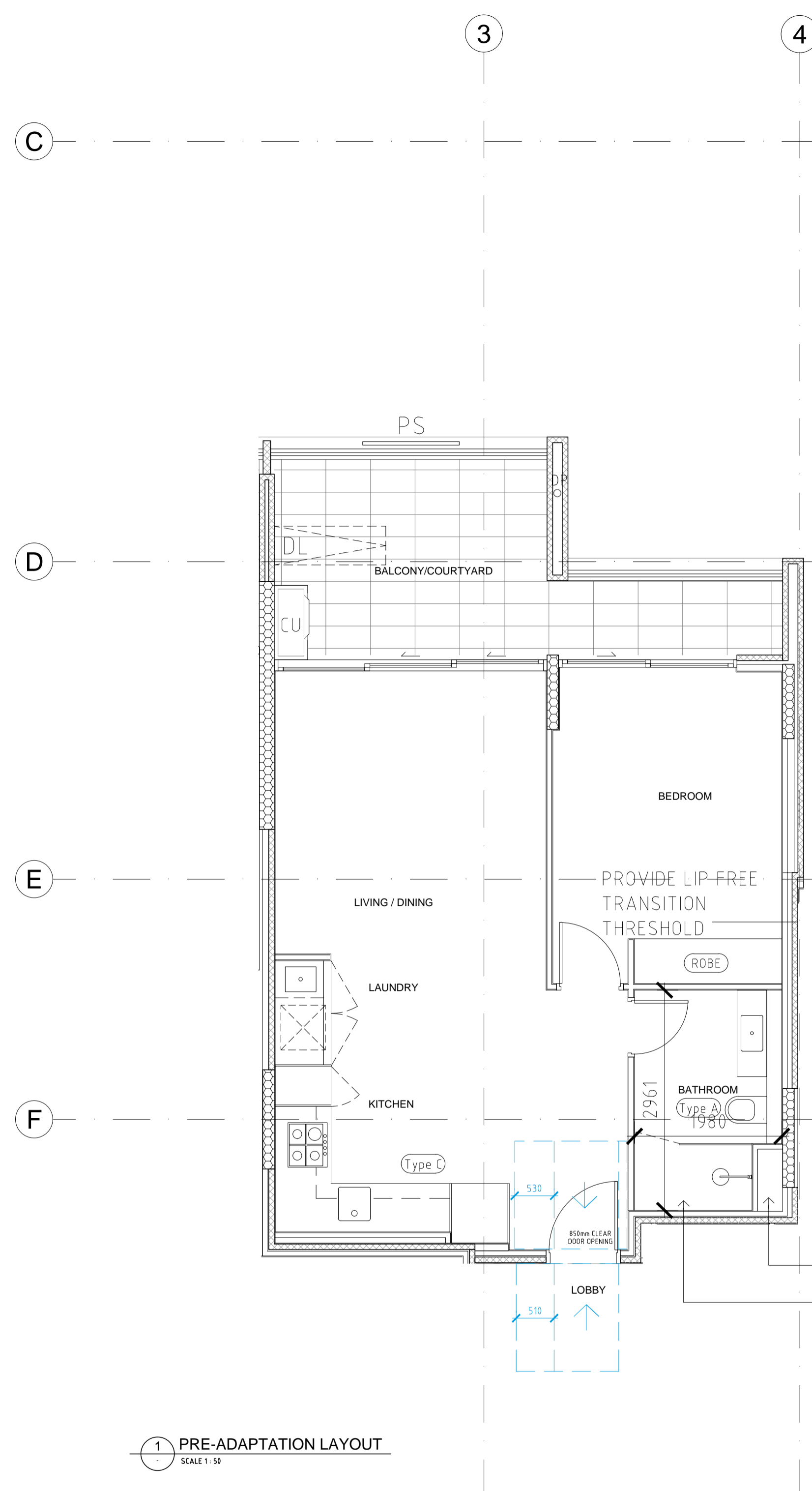
LEGEND:

| | | | |
|-----|-----------------------------------|-----|-----------------------------------|
| AW | AWNING | MB | MAILBOX TO FUTURE DETAIL |
| BS | BATTEN SCREEN | MV | MECHANICAL RISER TO FUTURE DETAIL |
| CL | WALL MOUNTED FOLDING CLOTHES LINE | OP | OPAGUE WINDOW |
| CU | A/C CONDENSER UNITS | PB | PRE-FABRICATED PLANTERBOX |
| FH | FIRE HYDRANT | PS | SLIDING PRIVACY SCREEN |
| FHR | FIRE HOSE REEL | R | RECYCLING BIN |
| FS | FIRE STAIRS | RCL | RETRACTABLE CLOTHES LINE |
| G | GARBAGE BIN | SK | SKY LIGHT |
| GC | GARBAGE CHUTE | ST | STORAGE |
| HL | HIGHLIGHT WINDOW | | |
| MA | ROOF HATCH ACCESS | | |

DOOR / WINDOW LEGEND:

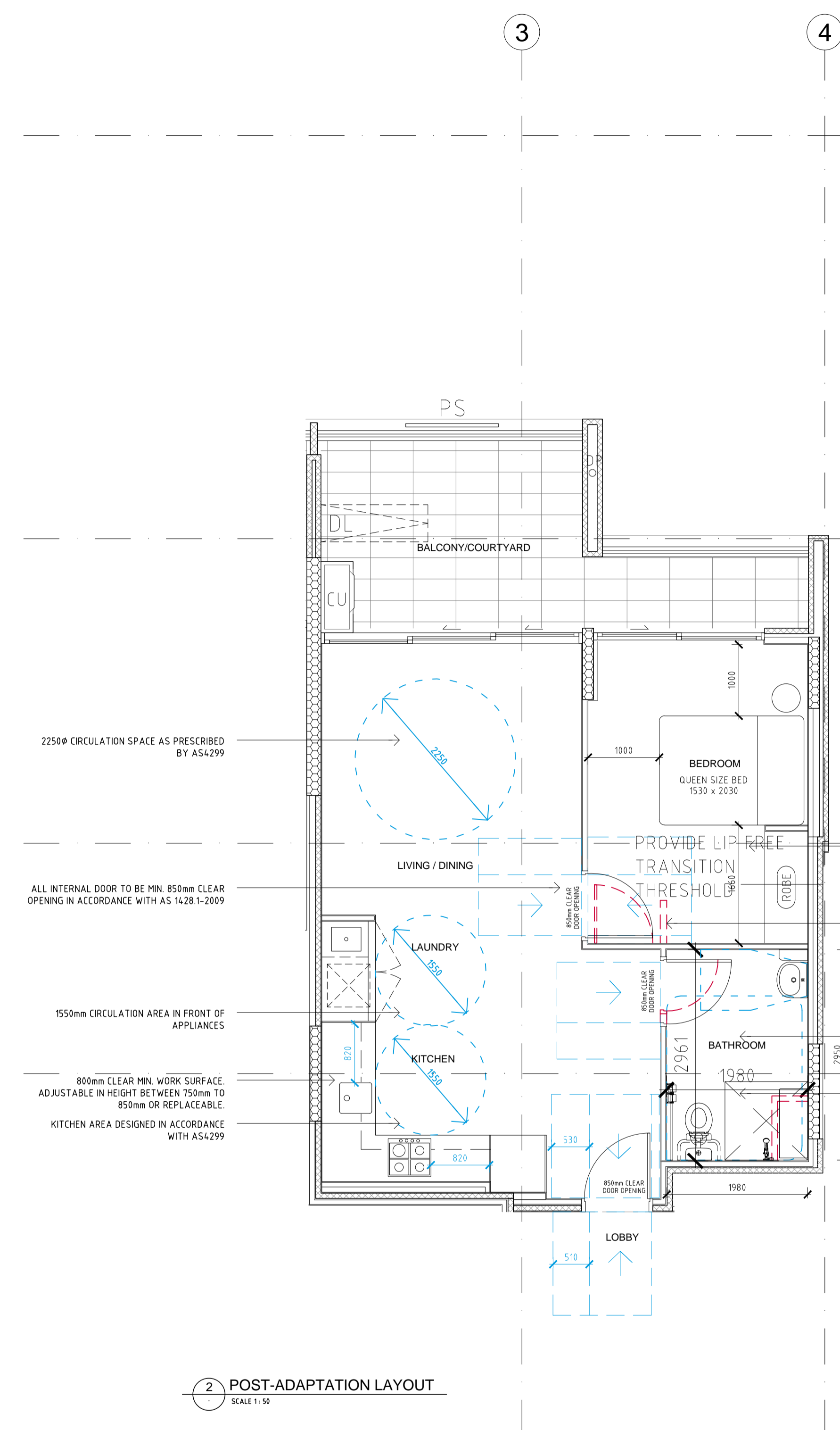
DOOR TYPE NO. WINDOW NO.

REFER A6000 DRAWINGS SERIES - DOOR & WINDOW SCHEDULES FOR DETAILS



1 PRE-ADAPTATION LAYOUT
SCALE 1:50

ADAPTABLE UNITS:
 UNIT G07
 UNIT 107
 UNIT 207
 UNIT 307



2 POST-ADAPTATION LAYOUT
SCALE 1:50

BEDROOM CAPABLE OF ACCOMMODATING A QUEEN SIZED BED, WARDROBE AND CIRCULATION SPACE IN ACCORDANCE WITH AS 1428.2

LINE OF WALL & ROBE TO BE REMOVED FOR ADAPTATION

NOTE: CAP OFF ALL REDUNDANT SERVICES BUILDERS TO PROVIDE PROVISIONS FOR WET AREA SETDOWN FOR POST ADAPTATION

BATHROOM TO BE IN ACCORDANCE WITH AS 1428.1 (PROVIDE PLUMBING PROVISION CAPPED OFF FOR POST ADAPTATION ARRANGEMENT)

CONSTRUCTION CERTIFICATE NO.
 8899-02-2019-CC
 DATE ISSUED: 25/06/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR A&D
 ACCREDITATION NO. BPB0203

| ISSUE | DATE | DESCRIPTION |
|-------|------------|---|
| 1 | 07.06.2019 | ISSUED FOR D&C USED DURING CONSTRUCTION |
| A | 04.04.2019 | ISSUED FOR REVIEW |

CLIENT: **LORDS GROUP**
 P - 02 9191 0622
 Level 7/80 George St, Parramatta NSW 2150

ARCHITECT: **PBD ARCHITECTS**
 ABN 36 147 035 550
 P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
 Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
11-15 MITCHELL AVENUE, JANNALI

JANUARY 2019

DRAWING TITLE:
ADATABLE LAYOUT
 TYPE A

THIS DRAWING IS ISSUED FOR D&C USED DURING CONSTRUCTION
 SUBJECT TO FINAL COORDINATION AND INTEGRATION OF ENGINEERS' DETAILS
 AND OTHER SERVICES DESIGN ISSUED FOR CONSTRUCTION

| | | |
|----------------------------------|-----------------------------|--------------------|
| SCALE: 1:50 @ A1 / 1:100 @ A3 | DRAWING NO: A7001 | ISSUE: 1 |
| PROJECT NO: 1747 | | |

- GENERAL NOTES:**
- All work to comply with Building Code of Australia, requirements of relevant Statutory Authorities / Local Government & relevant Australian Building Standards
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- LEGEND:**
- | | | | |
|-----|-----------------------------------|-----|-----------------------------------|
| AW | AWNING | MB | MAILBOX TO FUTURE DETAIL |
| BS | BATTEN SCREEN | MV | MECHANICAL RISER TO FUTURE DETAIL |
| CL | WALL MOUNTED FOLDING CLOTHES LINE | OP | OPAQUE WINDOW |
| CU | A/C CONDENSER UNITS | PB | PRE-FABRICATED PLANTERBOX |
| FH | FIRE HYDRANT | PS | SLIDING PRIVACY SCREEN |
| FHR | FIRE HOSE REEL | R | RECYCLING BIN |
| FS | FIRE STAIRS | RCL | RETRACTABLE CLOTHES LINE |
| G | GARBAGE BIN | SK | SKY LIGHT |
| GC | GARBAGE CHUTE | ST | STORAGE |
| HL | HIGHLIGHT WINDOW | | |
| MA | ROOF HATCH ACCESS | | |

- DOOR / WINDOW LEGEND:**
- DOOR TYPE NO. WINDOW NO.
- REFER A6000 DRAWINGS SERIES - DOOR & WINDOW SCHEDULES FOR DETAILS

CONSTRUCTION CERTIFICATE NO.
8899-02-2019-CC
DATE ISSUED: 25/06/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR A&D
ACCREDITATION NO. BPB0203

| ISSUE | DATE | DESCRIPTION |
|-------|------------|---|
| 1 | 07.06.2019 | ISSUED FOR D&C USED DURING CONSTRUCTION |
| A | 04.04.2019 | ISSUED FOR REVIEW |



CLIENT:
LORDS GROUP
P - 02 9191 0622
Level 7/80 George St, Parramatta NSW 2150

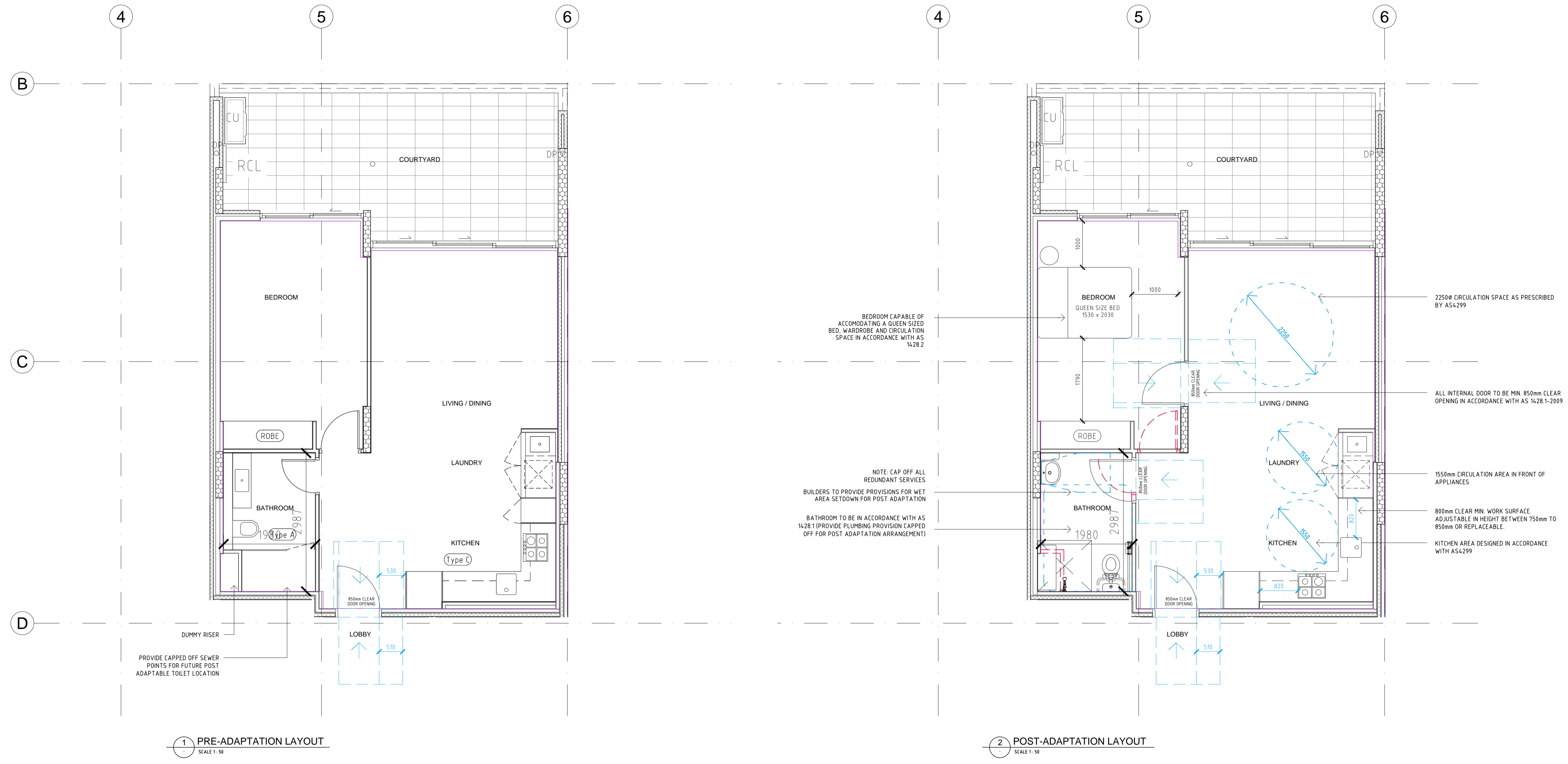
ARCHITECT:
PBD ARCHITECTS
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
11-15 MITCHELL AVENUE, JANNALI
JANUARY 2019

DRAWING TITLE:
**ADATABLE LAYOUT
TYPE B**

| | | |
|----------------------------------|-----------------------------|--------------------|
| SCALE: 1:50 @ A1 / 1:100 @ A3 | DRAWING NO: A7002 | ISSUE: 1 |
| PROJECT NO: 1747 | | |

**THIS DRAWING IS ISSUED FOR D&C USED DURING CONSTRUCTION
SUBJECT TO FINAL COORDINATION AND INTEGRATION OF ENGINEERS' DETAILS
AND OTHER SERVICES DESIGN ISSUED FOR CONSTRUCTION**



BEDROOM CAPABLE OF ACCOMMODATING A QUEEN SIZED BED, WARDROBE AND CIRCULATION SPACE IN ACCORDANCE WITH AS 1428.2

NOTE: CAP OFF ALL REDUNDANT SERVICES BUILDERS TO PROVIDE PROVISIONS FOR WET AREA SETDOWN FOR POST ADAPTATION
BATHROOM TO BE IN ACCORDANCE WITH AS 1428.1 (PROVIDE PLUMBING PROVISION CAPPED OFF FOR POST ADAPTATION ARRANGEMENT)

22500 CIRCULATION SPACE AS PRESCRIBED BY AS4299

ALL INTERNAL DOOR TO BE MIN. 850mm CLEAR OPENING IN ACCORDANCE WITH AS 1428.1-2009

1550mm CIRCULATION AREA IN FRONT OF APPLIANCES

800mm CLEAR MIN. WORK SURFACE, ADJUSTABLE IN HEIGHT BETWEEN 750mm TO 850mm OR REPLACEABLE.

KITCHEN AREA DESIGNED IN ACCORDANCE WITH AS4299

1 PRE-ADAPTATION LAYOUT
SCALE 1:50

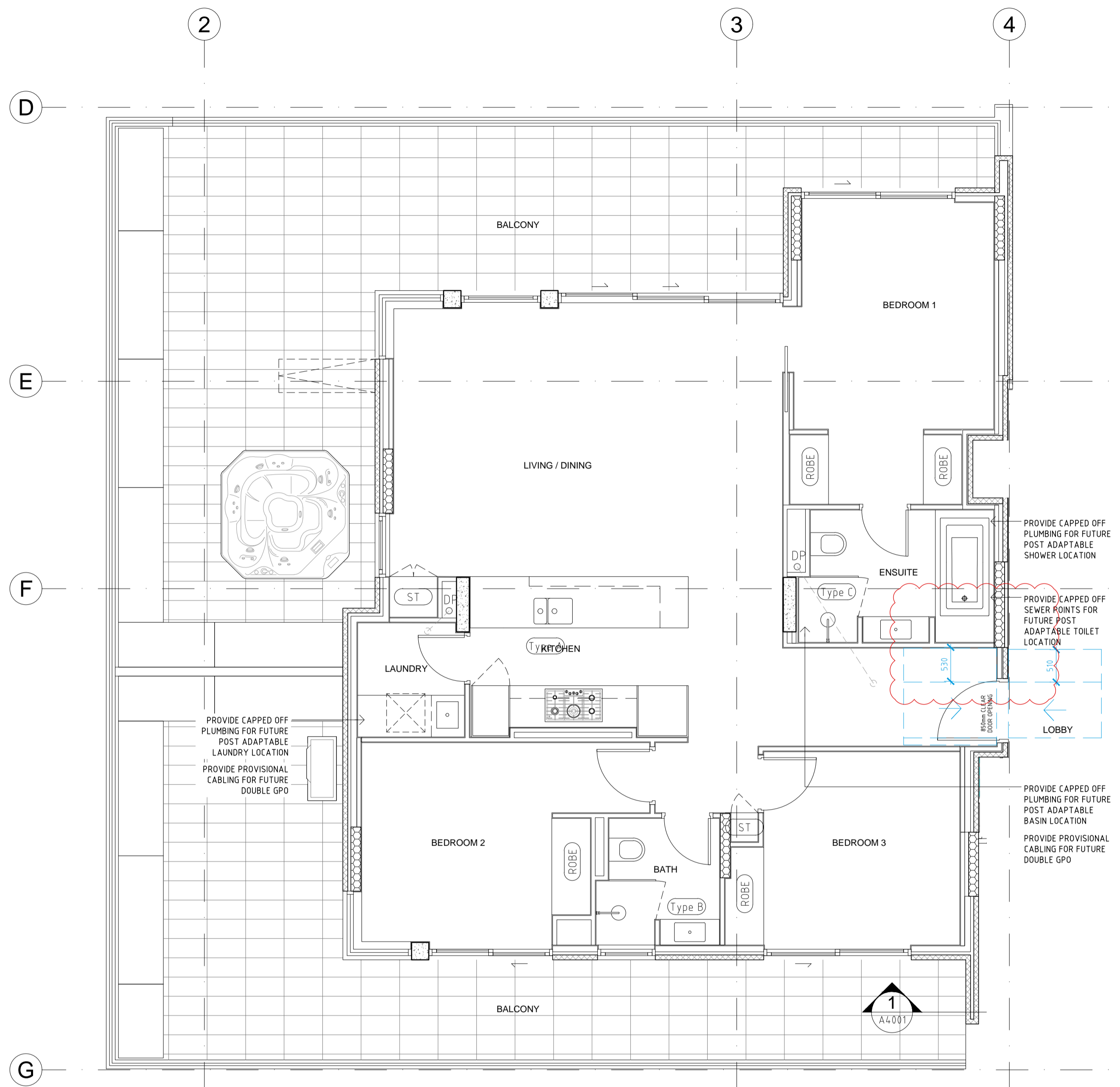
2 POST-ADAPTATION LAYOUT
SCALE 1:50

ADAPTABLE UNIT:
UNIT G01

- GENERAL NOTES:**
- All work to comply with Building Code of Australia, requirements of relevant Statutory Authorities / Local Government & relevant Australian Building Standards
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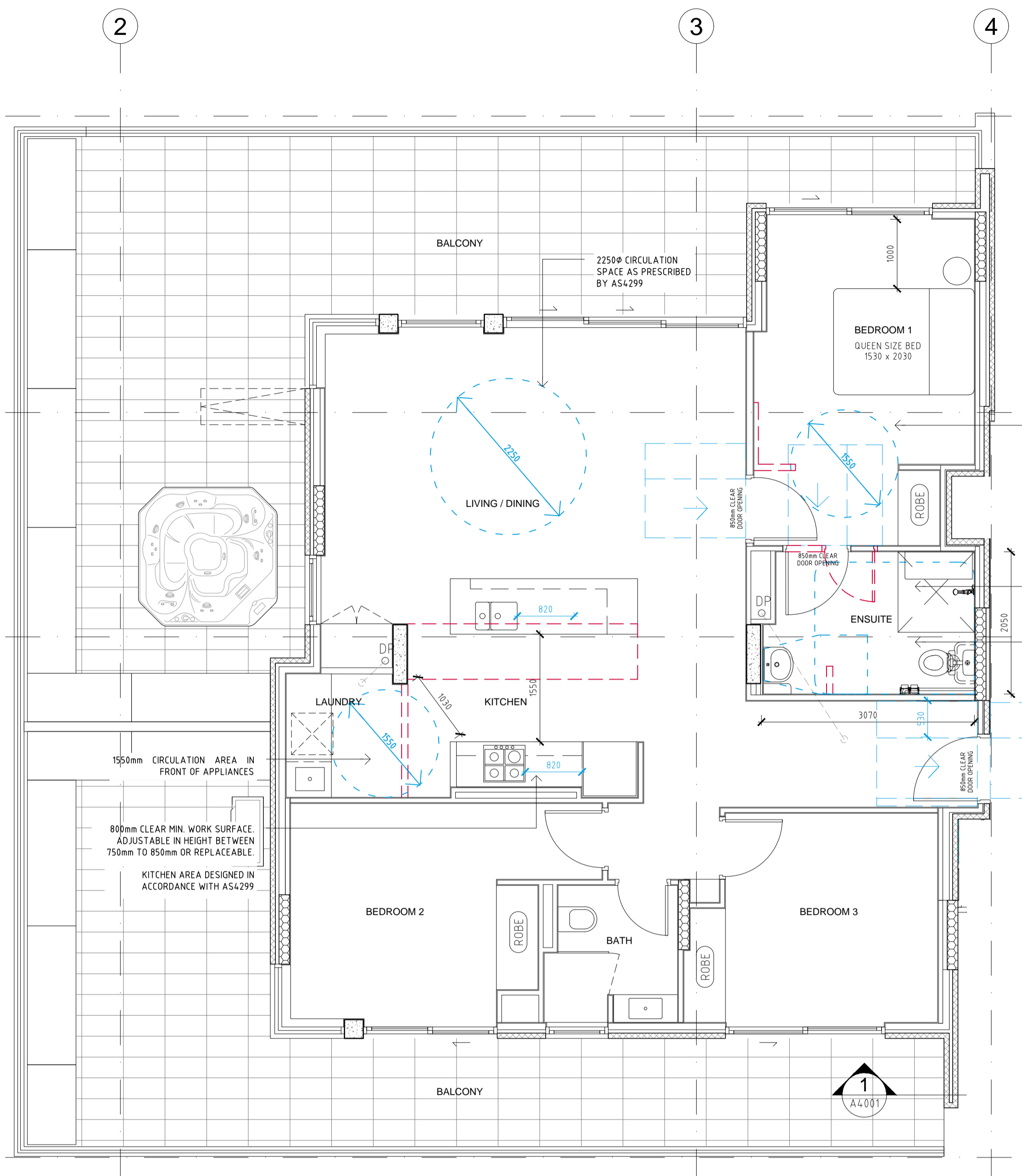
- LEGEND:**
- | | | | |
|-----|-----------------------------------|-----|-----------------------------------|
| AW | AWNING | MB | MAILBOX TO FUTURE DETAIL |
| BS | BATTEN SCREEN | MV | MECHANICAL RISER TO FUTURE DETAIL |
| CL | WALL MOUNTED FOLDING CLOTHES LINE | OP | OPaque WINDOW |
| CU | A/C CONDENSER UNITS | PB | PRE-FABRICATED PLANTERBOX |
| FH | FIRE HYDRANT | PS | SLIDING PRIVACY SCREEN |
| FHR | FIRE HOSE REEL | R | RECYCLING BIN |
| FS | FIRE STAIRS | RCL | RETRACTABLE CLOTHES LINE |
| G | GARBAGE BIN | SK | SKY LIGHT |
| GC | GARBAGE CHUTE | ST | STORAGE |
| HL | HIGHLIGHT WINDOW | | |
| MA | ROOF HATCH ACCESS | | |

- DOOR / WINDOW LEGEND:**
- DOOR TYPE NO. WINDOW NO.
- REFER A6000 DRAWINGS SERIES - DOOR & WINDOW SCHEDULES FOR DETAILS



1 PRE-ADAPTATION LAYOUT
 SCALE 1:50

ADAPTABLE UNIT:
 UNIT 403



2 POST-ADAPTATION LAYOUT
 SCALE 1:50

BEDROOM CAPABLE OF ACCOMMODATING A QUEEN SIZED BED, WARDROBE AND CIRCULATION SPACE IN ACCORDANCE WITH AS 1428.2

NOTE: CAP OFF ALL REDUNDANT SERVICES

BUILDERS TO PROVIDE PROVISIONS FOR WET AREA SETDOWN FOR POST ADAPTATION

BATHROOM TO BE IN ACCORDANCE WITH AS 1428.1 (PROVIDE PLUMBING PROVISION CAPPED OFF FOR POST ADAPTATION ARRANGEMENT)

CONSTRUCTION CERTIFICATE NO.
 8899-02-2019-CC

DATE ISSUED: 25/06/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR A&D
 ACCREDITATION NO. BPB0203

| ISSUE | DATE | DESCRIPTION |
|-------|------------|---|
| 1 | 07.06.2019 | ISSUED FOR D&C USED DURING CONSTRUCTION |
| B | 12.04.2019 | UPDATE AS PER ACCESS COMMENTS |
| A | 04.04.2019 | ISSUED FOR REVIEW |

CLIENT:
LORDS GROUP
 P - 02 9191 0622
 Level 7/80 George St, Parramatta NSW 2150

ARCHITECT:
PBD ARCHITECTS
 ABN 36 147 035 550
 P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
 Level 2, 52 Albion Street, Surry Hills NSW 2010

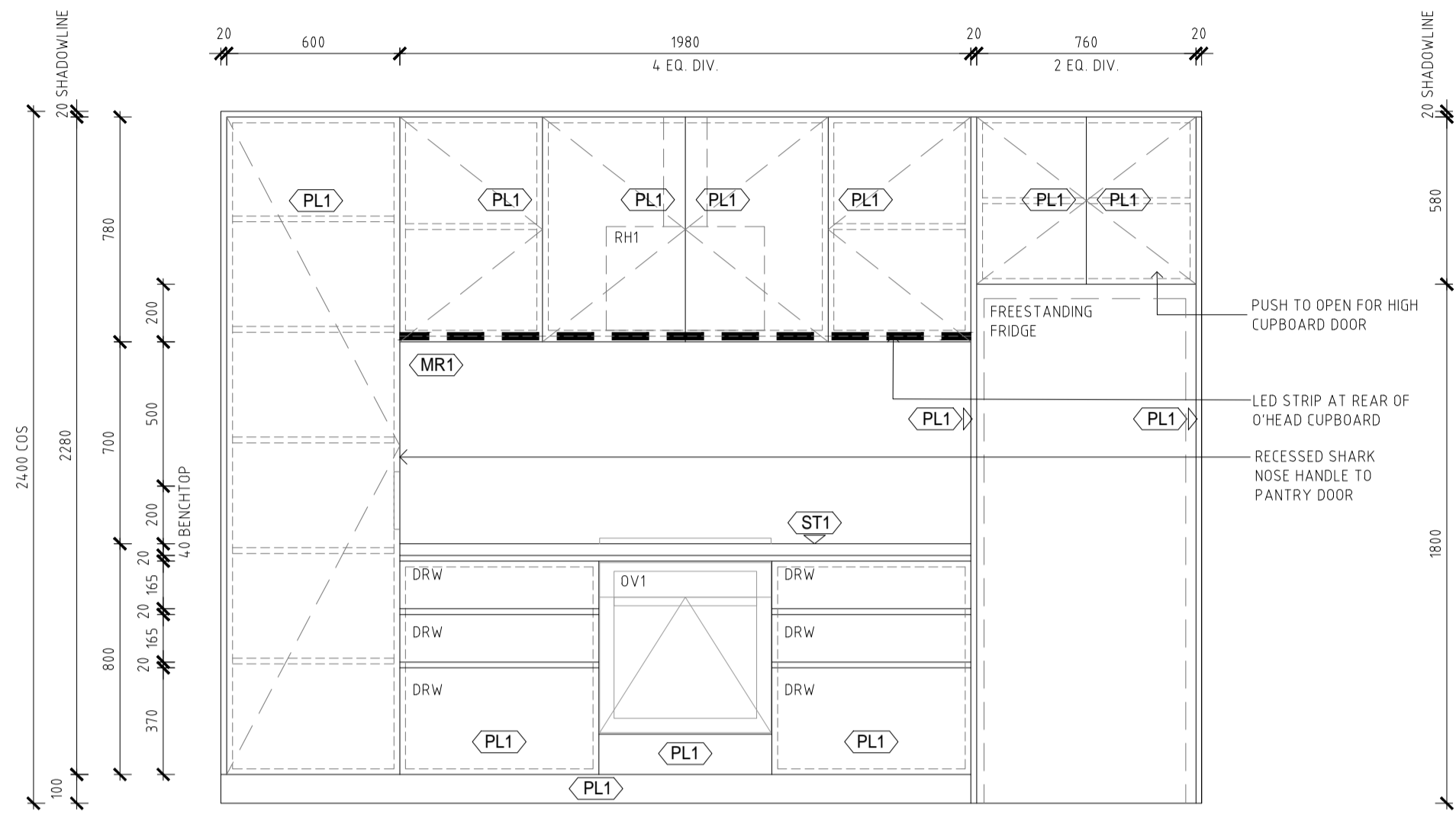
PROJECT:
 11-15 MITCHELL AVENUE, JANNALI

JANUARY 2019

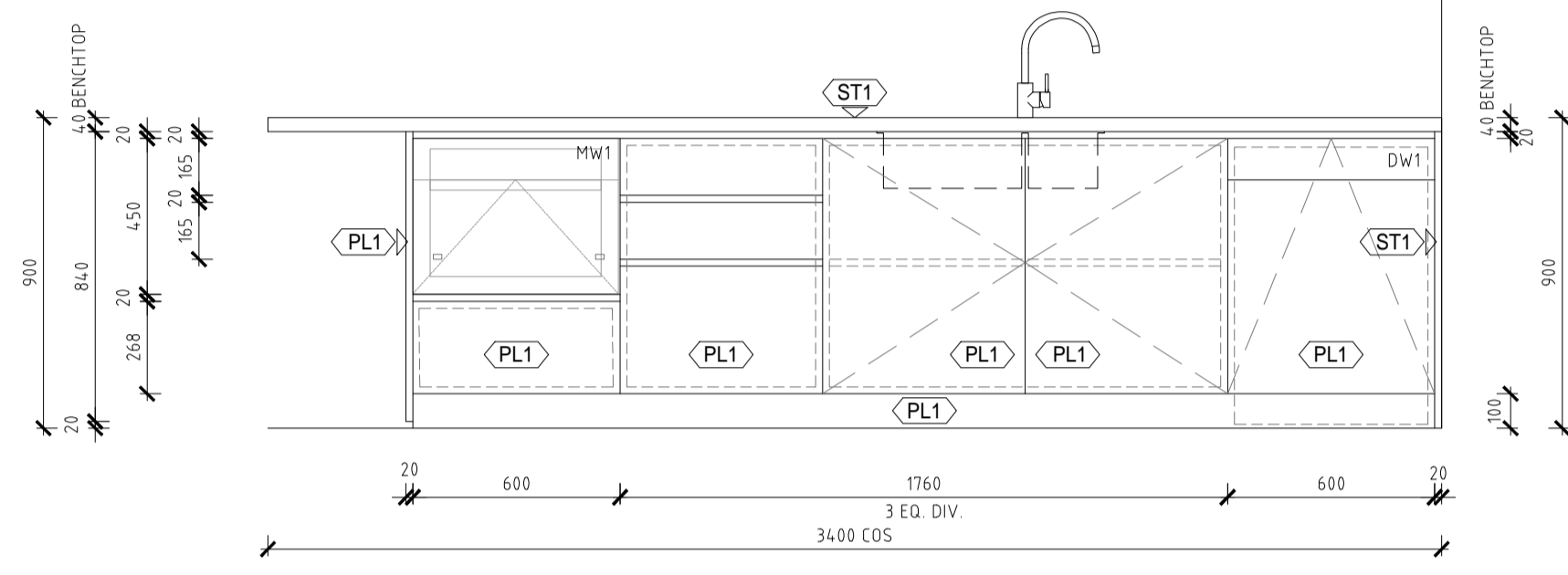
DRAWING TITLE:
 ADAPTABLE LAYOUT
 TYPE C

| | | |
|----------------------------------|-----------------------------|--------------------|
| SCALE: 1:50 @ A1 / 1:100 @ A3 | DRAWING NO: A7003 | ISSUE: 1 |
| PROJECT NO: 1747 | | |

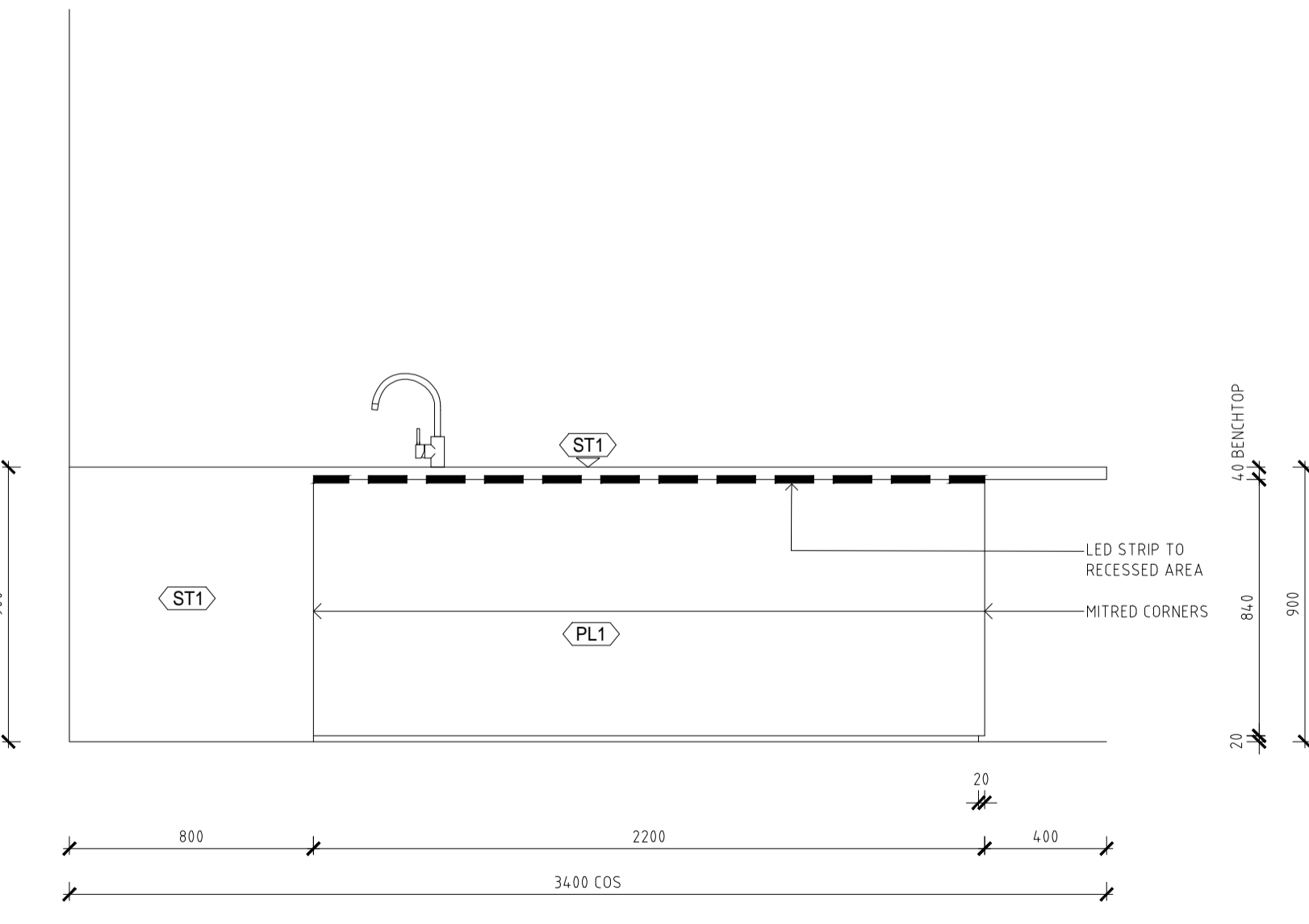
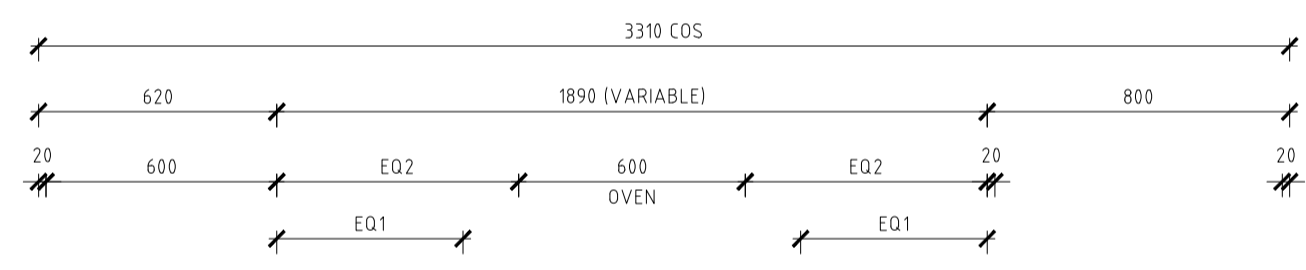
THIS DRAWING IS ISSUED FOR D&C USED DURING CONSTRUCTION
 SUBJECT TO FINAL COORDINATION AND INTEGRATION OF ENGINEERS' DETAILS
 AND OTHER SERVICES DESIGN ISSUED FOR CONSTRUCTION



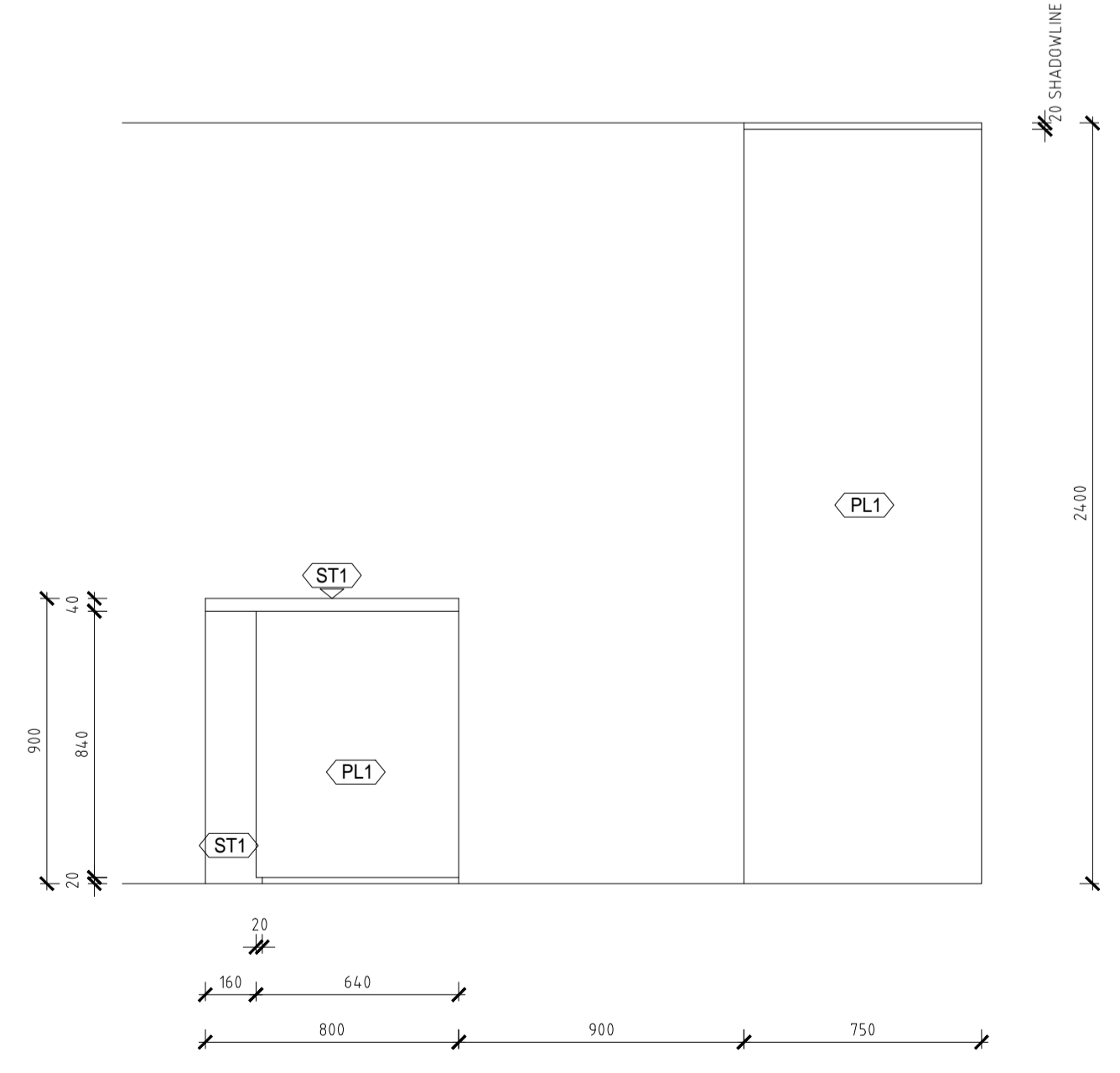
02 ELEVATION A
 SCALE 1:20 @ A1



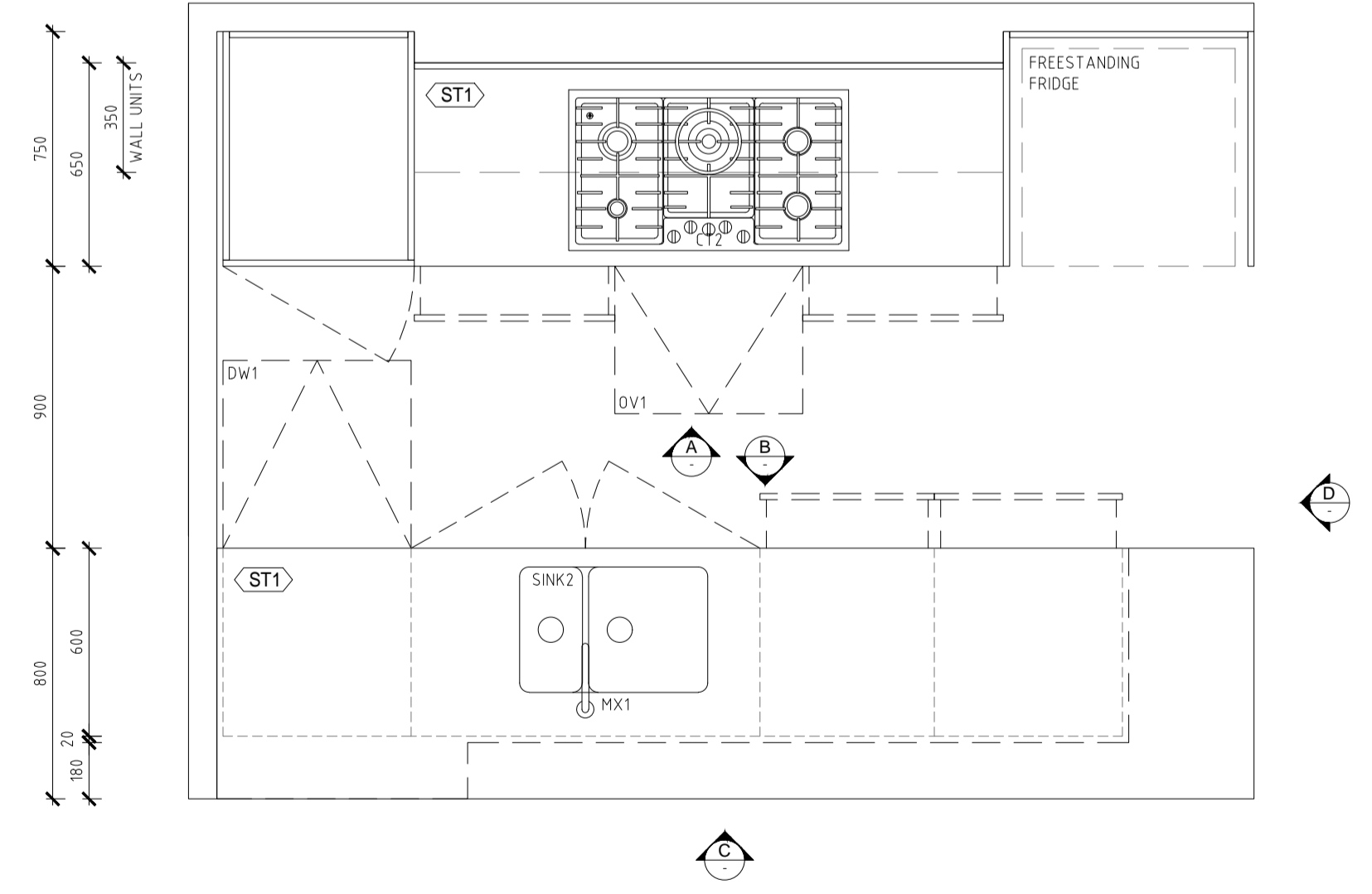
03 ELEVATION B
 SCALE 1:20 @ A1



04 ELEVATION C
 SCALE 1:20 @ A1



05 ELEVATION D
 SCALE 1:20 @ A1



01 DETAIL PLAN
 SCALE 1:20 @ A1

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- KITCHEN, BATHROOM AND JOINERY NOTES**
- KITCHEN AND BATHROOM DETAIL SHOWN AS TYPICAL TYPE ONLY
 - ALL DIMENSIONS TO BE CHECKED ON SITE
 - TO BE READ IN CONJUNCTION WITH FF SCHEDULE
 - REFER TO FLOOR PLANS FOR SHOWER DOOR & SHOWER HEAD LOCATION

CONSTRUCTION CERTIFICATE NO.
 8899-02-2019-CC
DATE ISSUED: 25/06/2019
I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.
TRENTON JONES FOR A&D
 ACCREDITATION NO. BPB0203

| ISSUE | DATE | DESCRIPTION |
|-------|------------|---|
| 1 | 07.06.2019 | ISSUED FOR D&C USED DURING CONSTRUCTION |
| A | 12.04.2019 | ISSUED FOR REVIEW |

CLIENT:
LORDS GROUP
 P - 02 9191 0622
 Level 7/80 George St, Parramatta NSW 2150

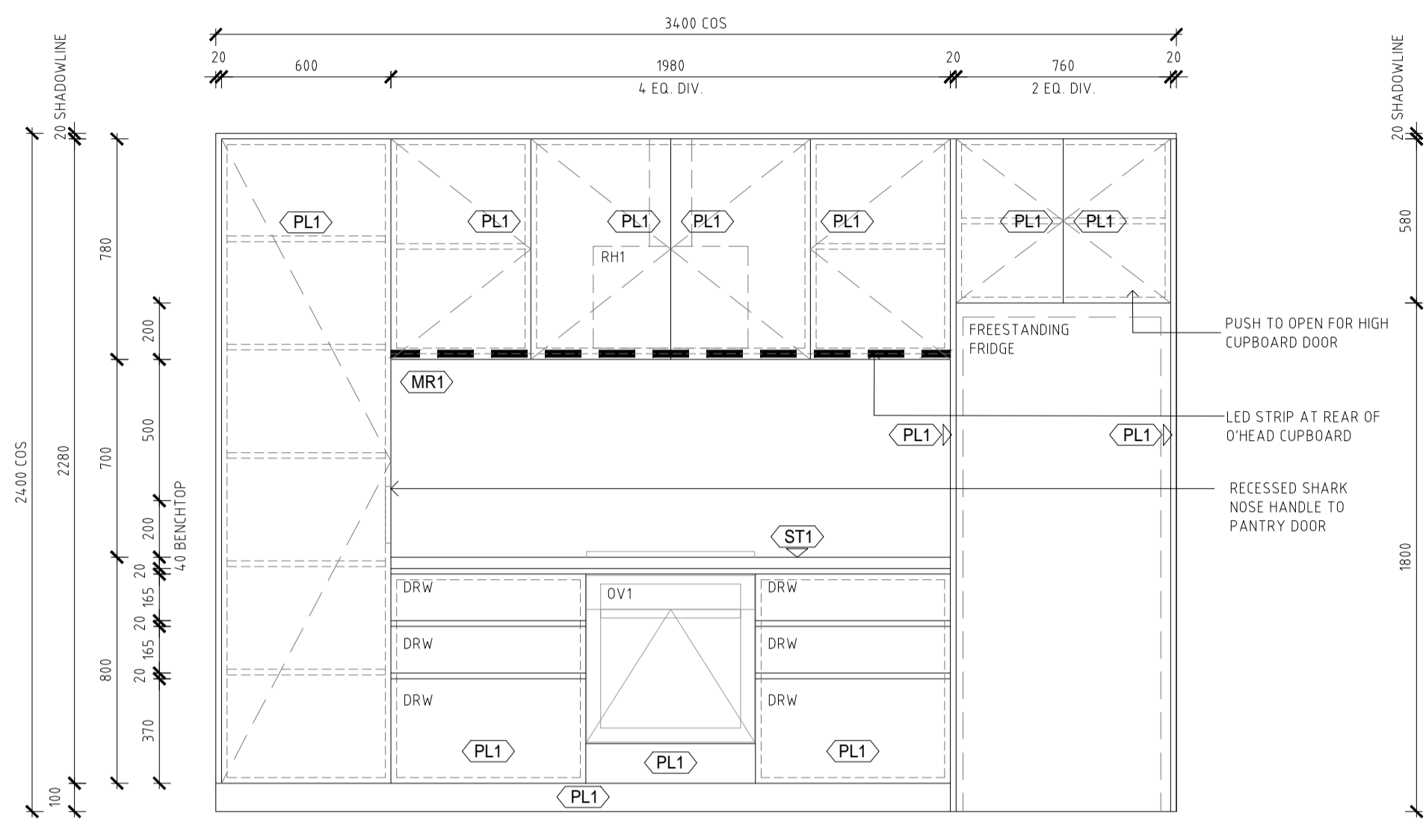
ARCHITECT:
PBD ARCHITECTS
 ABN 36 147 035 550
 P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
 Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
 11-15 MITCHELL AVENUE, JANNALI
 JANUARY 2019

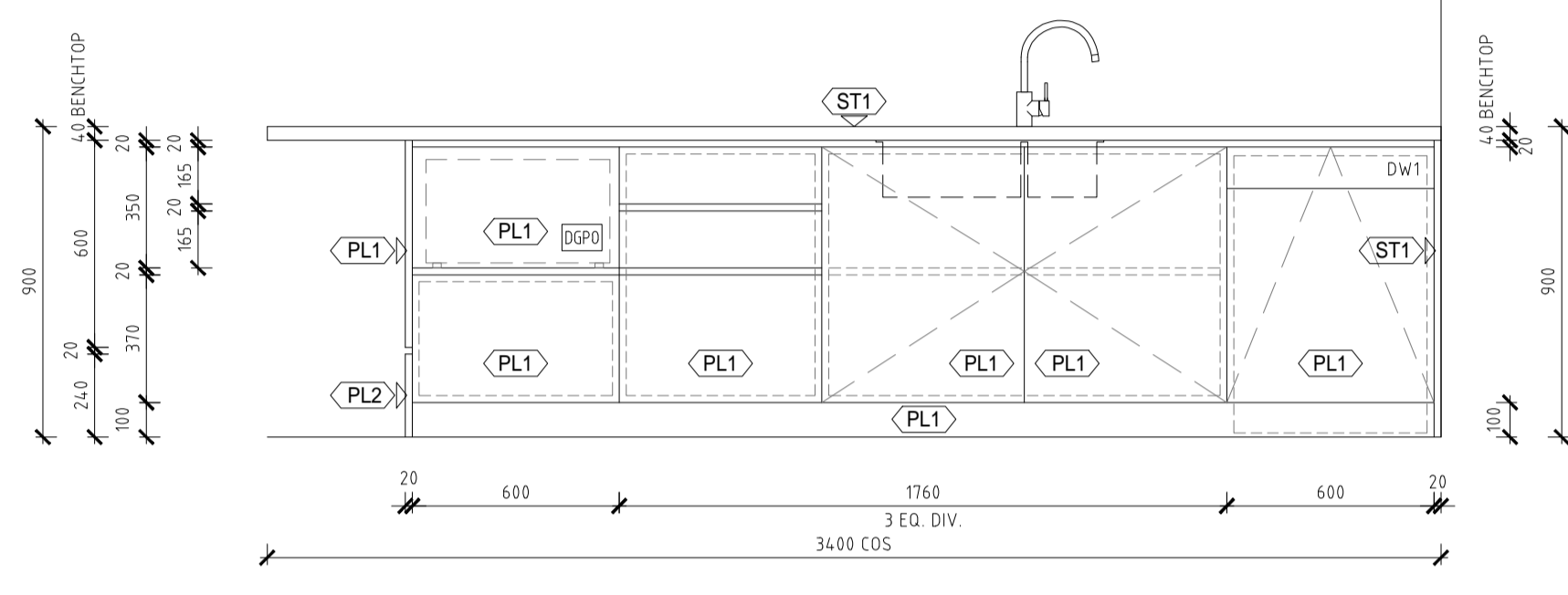
DRAWING TITLE:
 KITCHEN DETAIL - TYPE A
 3 BED UNITS

| SCALE: | DRAWING NO: | ISSUE: |
|-----------------------|-------------|--------|
| 1:20 @ A1 / 1:40 @ A3 | A7101 | 1 |
| PROJECT NO: 1747 | | |

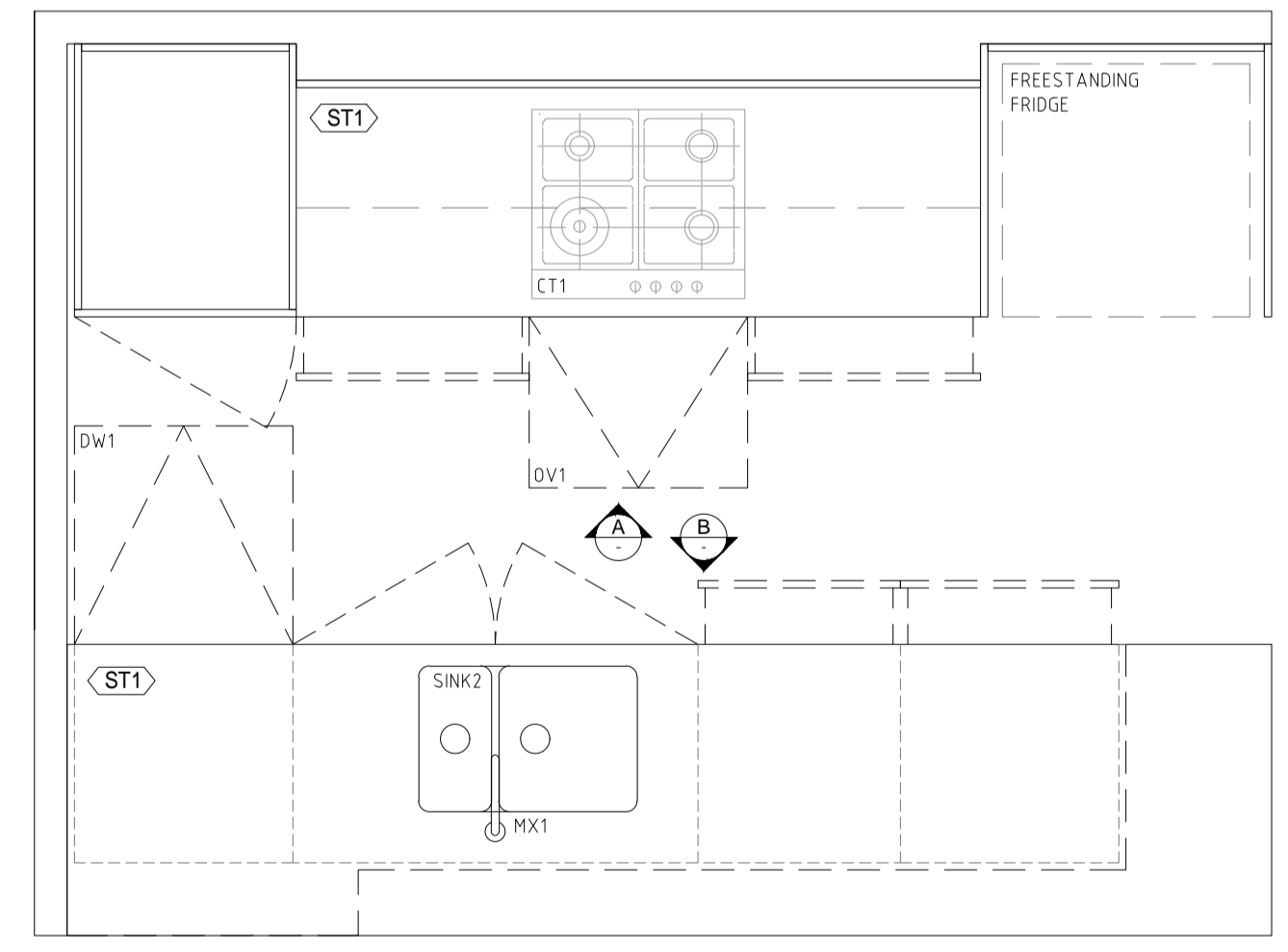
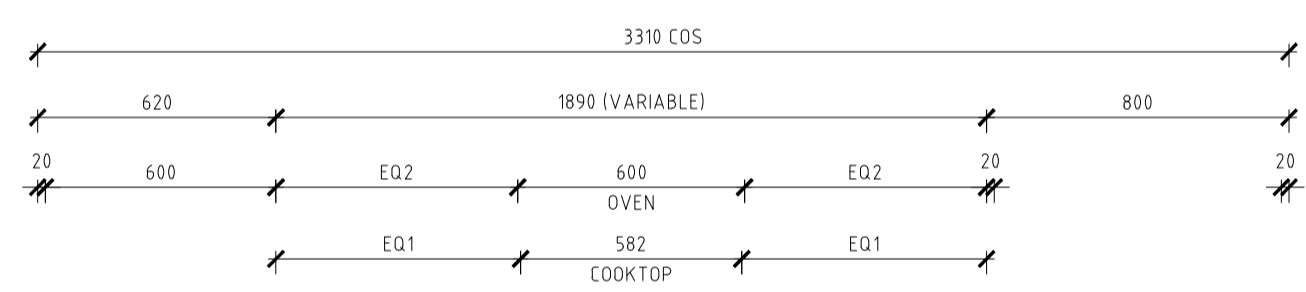
THIS DRAWING IS ISSUED FOR D&C USED DURING CONSTRUCTION
 SUBJECT TO FINAL COORDINATION AND INTEGRATION OF ENGINEERS' DETAILS
 AND OTHER SERVICES DESIGN ISSUED FOR CONSTRUCTION



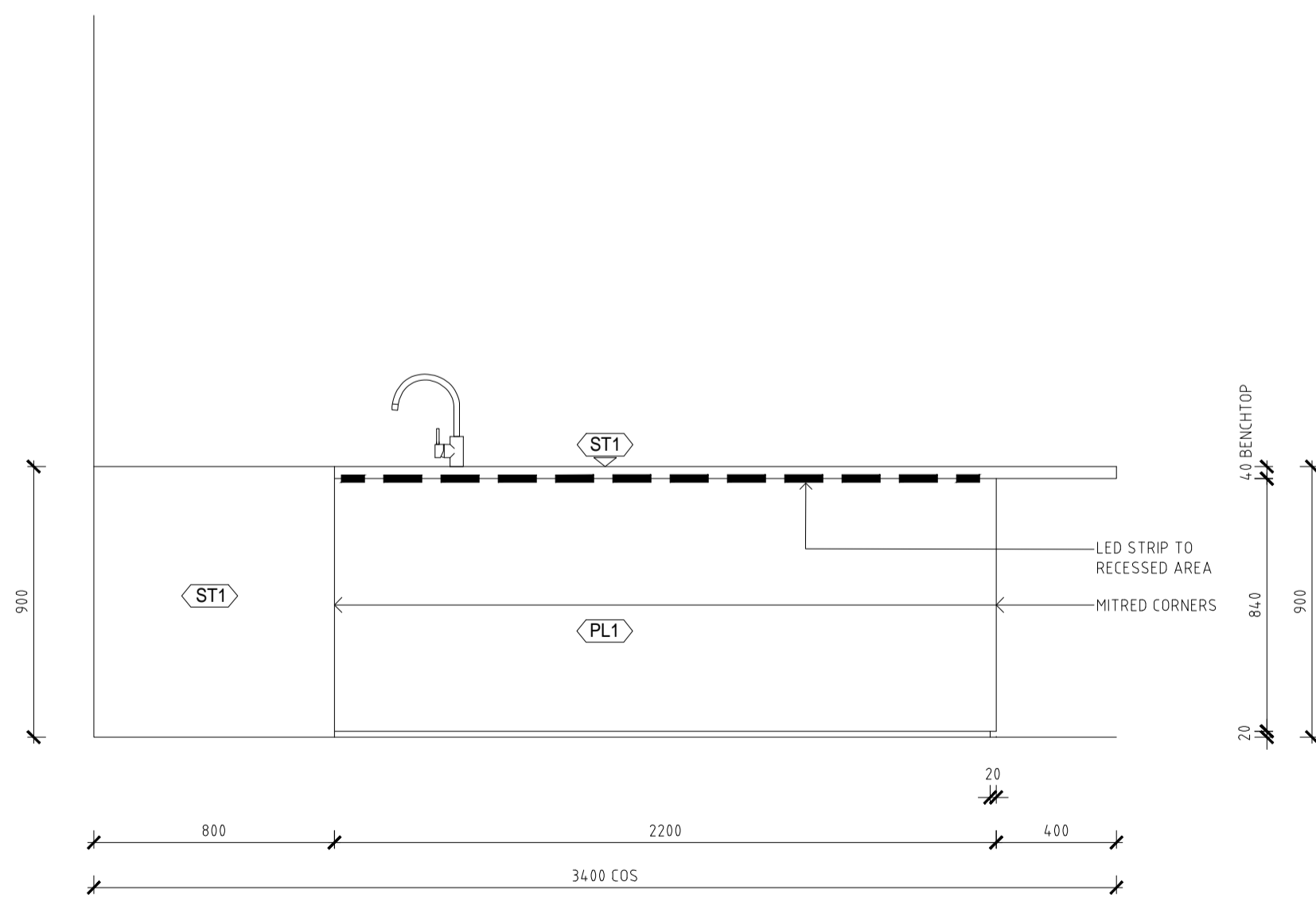
02 ELEVATION A
SCALE 1:20 @ A1



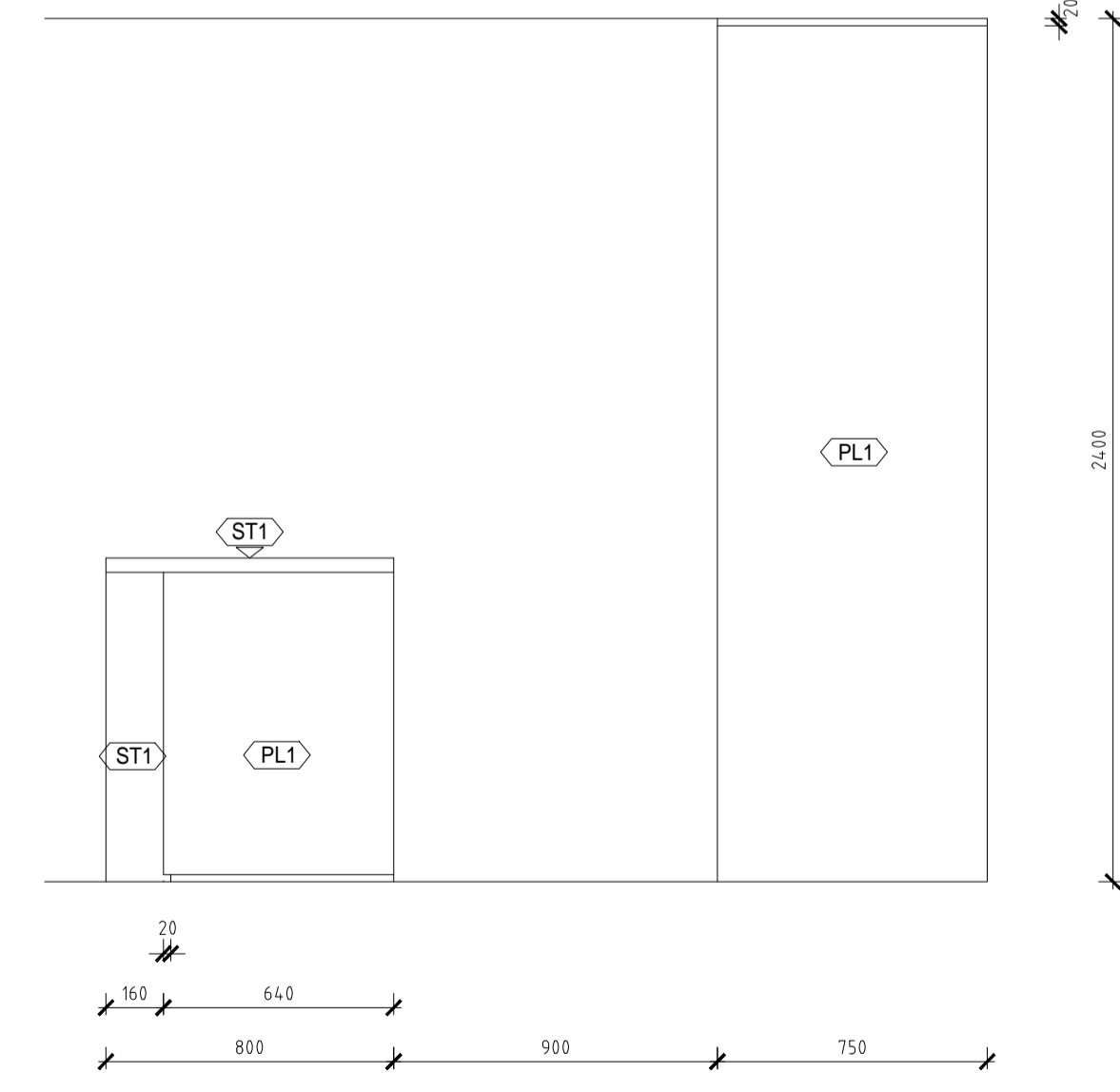
03 ELEVATION B
SCALE 1:20 @ A1



01 DETAIL PLAN
SCALE 1:20 @ A1



04 ELEVATION C
SCALE 1:20 @ A1



05 ELEVATION D
SCALE 1:20 @ A1

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- KITCHEN, BATHROOM AND JOINERY NOTES**
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 - TO BE READ IN CONJUNCTION WITH FF SCHEDULE
 - REFER TO FLOOR PLANS FOR SHOWER DOOR & SHOWER HEAD LOCATION

CONSTRUCTION CERTIFICATE NO.
8899-02-2019-CC
DATE ISSUED: 25/06/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR A&D
ACCREDITATION NO. BPB0203

| ISSUE | DATE | DESCRIPTION |
|-------|------------|---|
| 1 | 07.06.2019 | ISSUED FOR D&C USED DURING CONSTRUCTION |
| A | 12.04.2019 | ISSUED FOR REVIEW |

CLIENT: **LORDS GROUP**
P - 02 9191 0622
Level 7/80 George St, Parramatta NSW 2150

ARCHITECT: **PBD ARCHITECTS**
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
11-15 MITCHELL AVENUE, JANNALI

JANUARY 2019

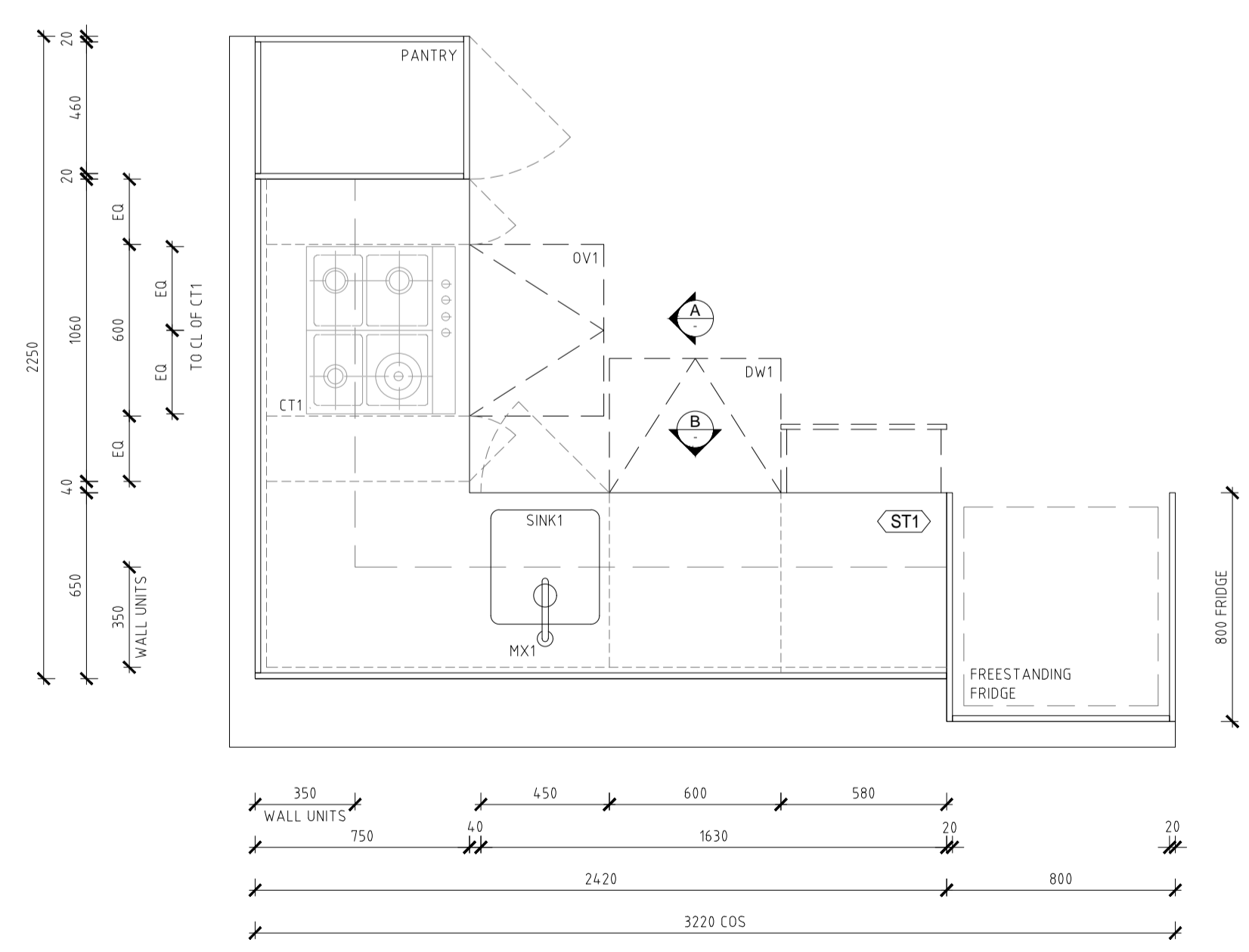
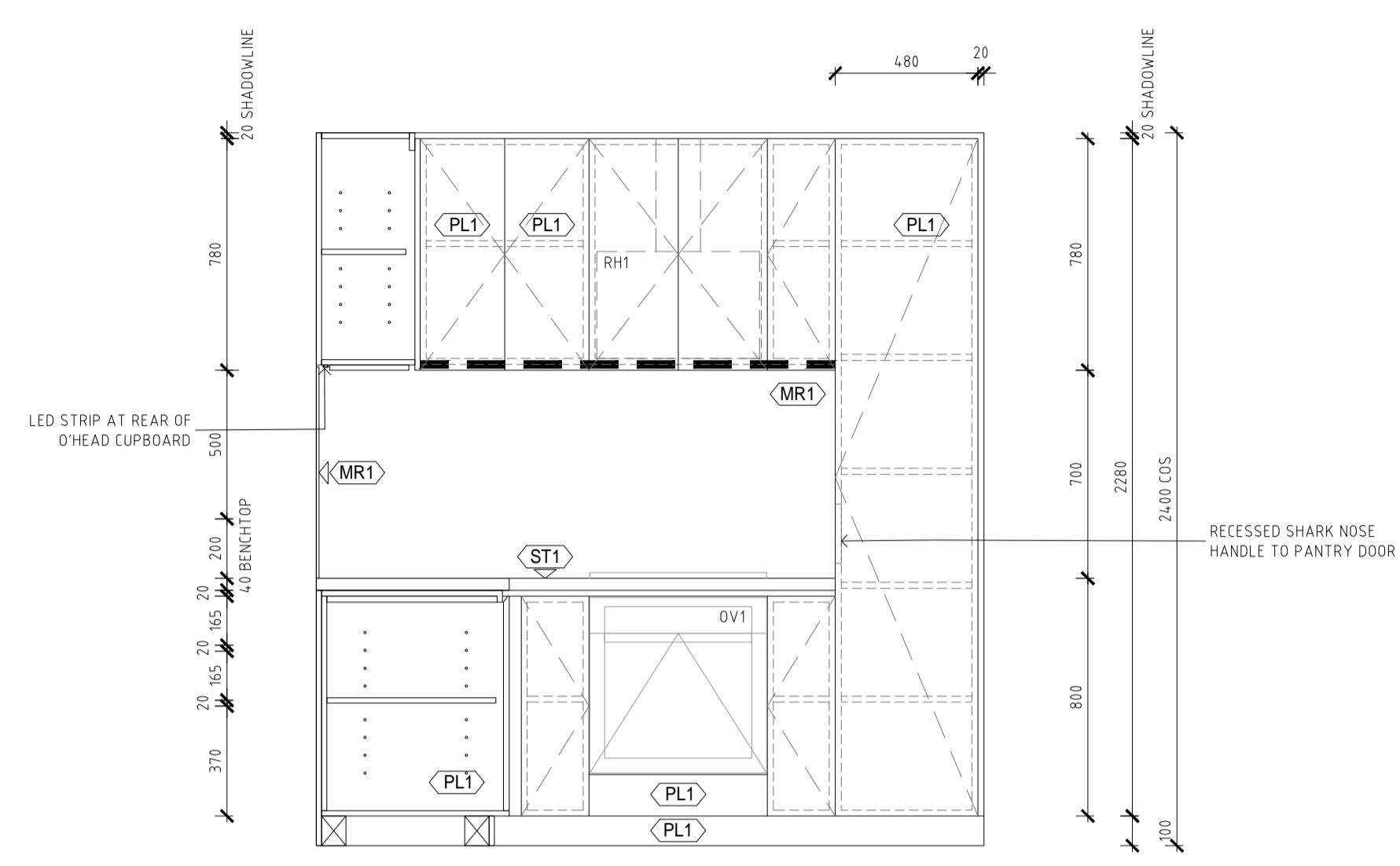
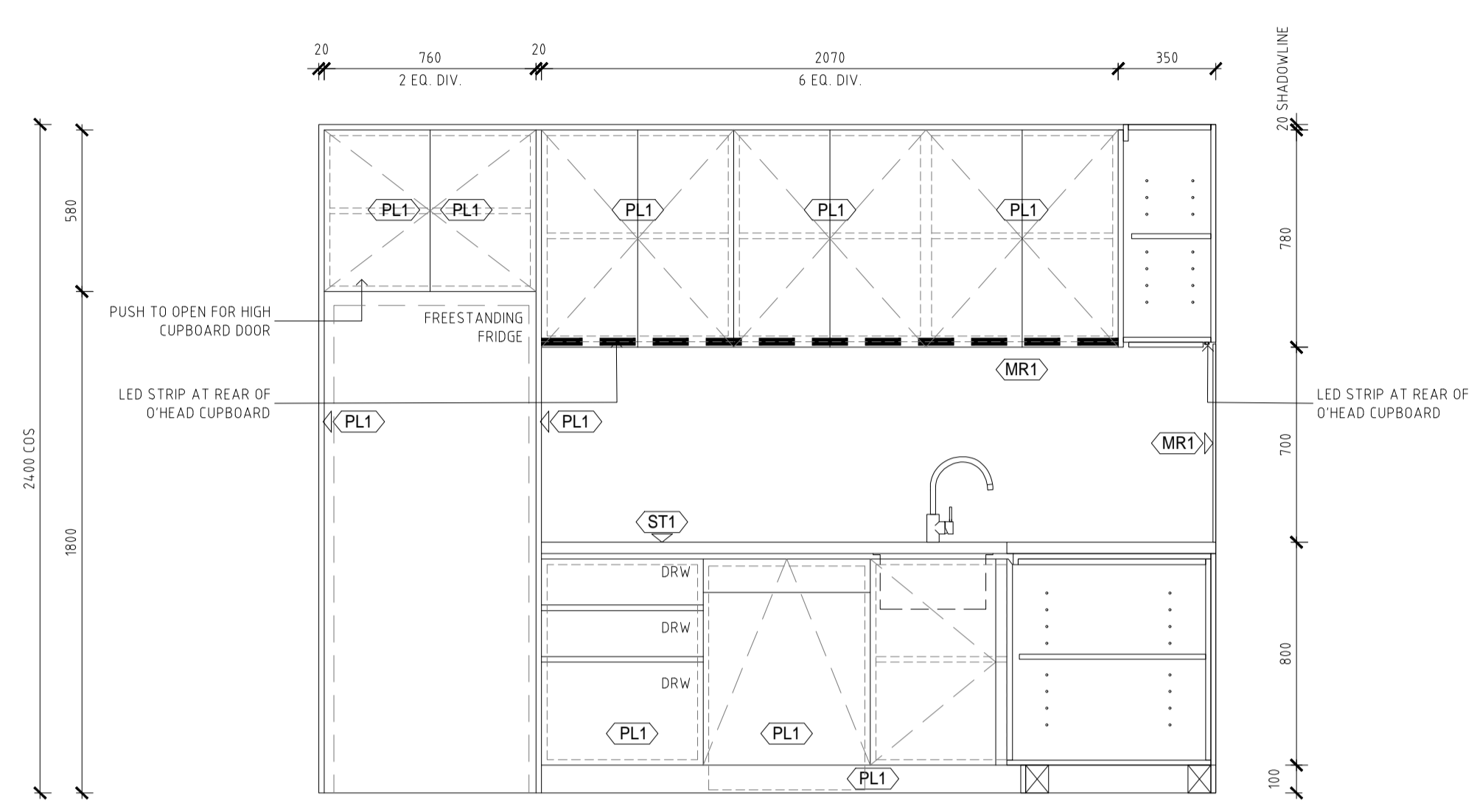
DRAWING TITLE:
**KITCHEN DETAIL - TYPE B
2 BED UNITS**

| | | |
|---------------------------------|-----------------------------|--------------------|
| SCALE: 1:20 @ A1 / 1:40 @ A3 | DRAWING NO: A7102 | ISSUE: 1 |
| PROJECT NO: 1747 | | |

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CONSTRUCTION CERTIFICATE NO.
8899-02-2019-CC

DATE ISSUED: 25/06/2019

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ACCREDITATION NO. BPB0203

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| 1 | 07.06.2019 | ISSUED FOR D&C USED DURING CONSTRUCTION |
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LORDS GROUP
P - 02 9191 0622
Level 7/80 George St, Parramatta NSW 2150

ARCHITECT:
PBD ARCHITECTS
ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
11-15 MITCHELL AVENUE, JANNALI

JANUARY 2019

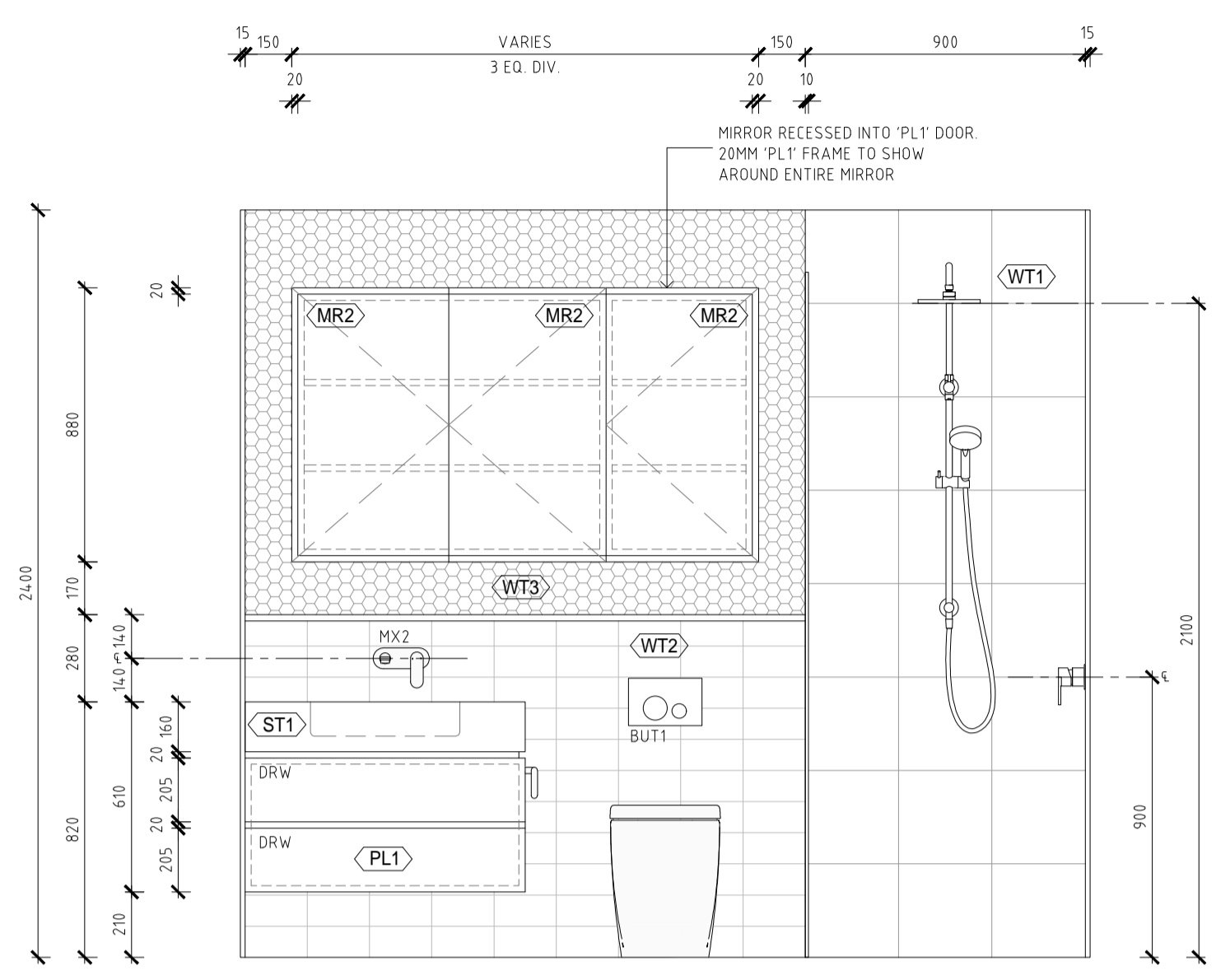
DRAWING TITLE:
KITCHEN DETAIL - TYPE C
1 BED UNITS

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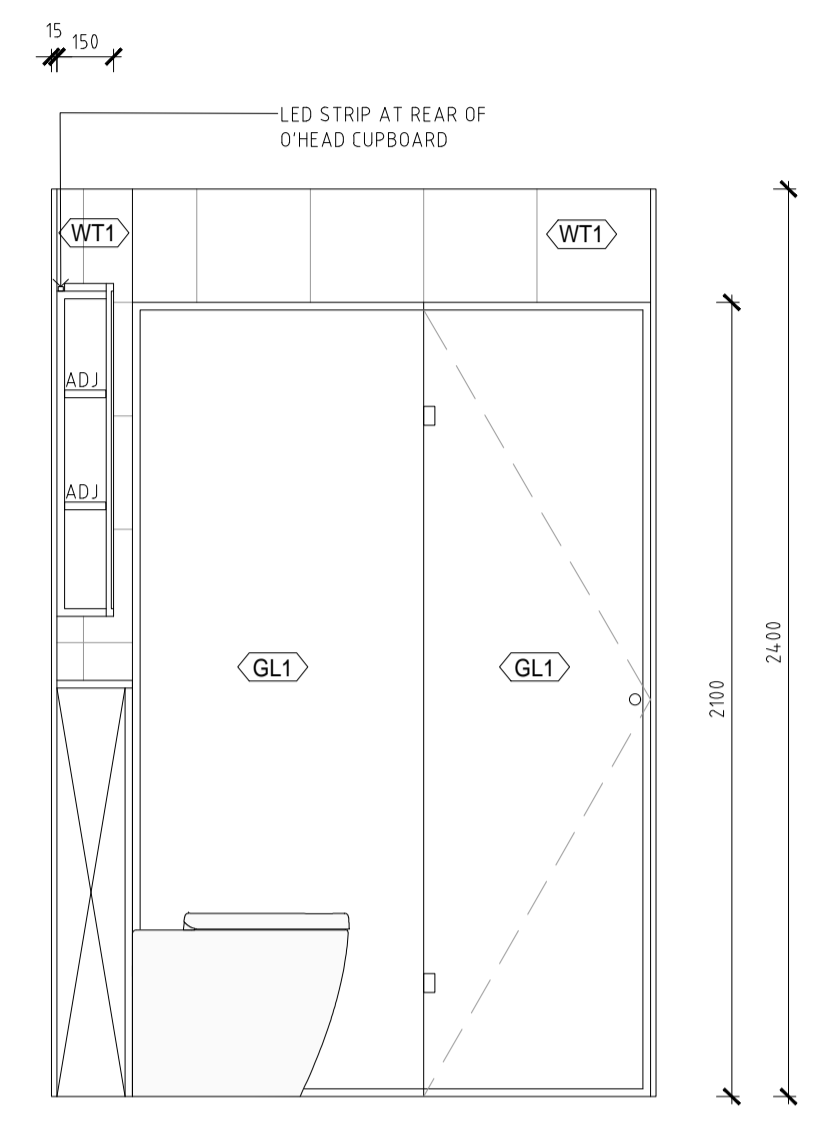
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|--|------------------------------|--------------------|
| SCALE: 1:20 @ A1 / 1:40 @ A3 | DRAWING NO.: A7103 | ISSUE: 1 |
| PROJECT NO.: 1747 | | |

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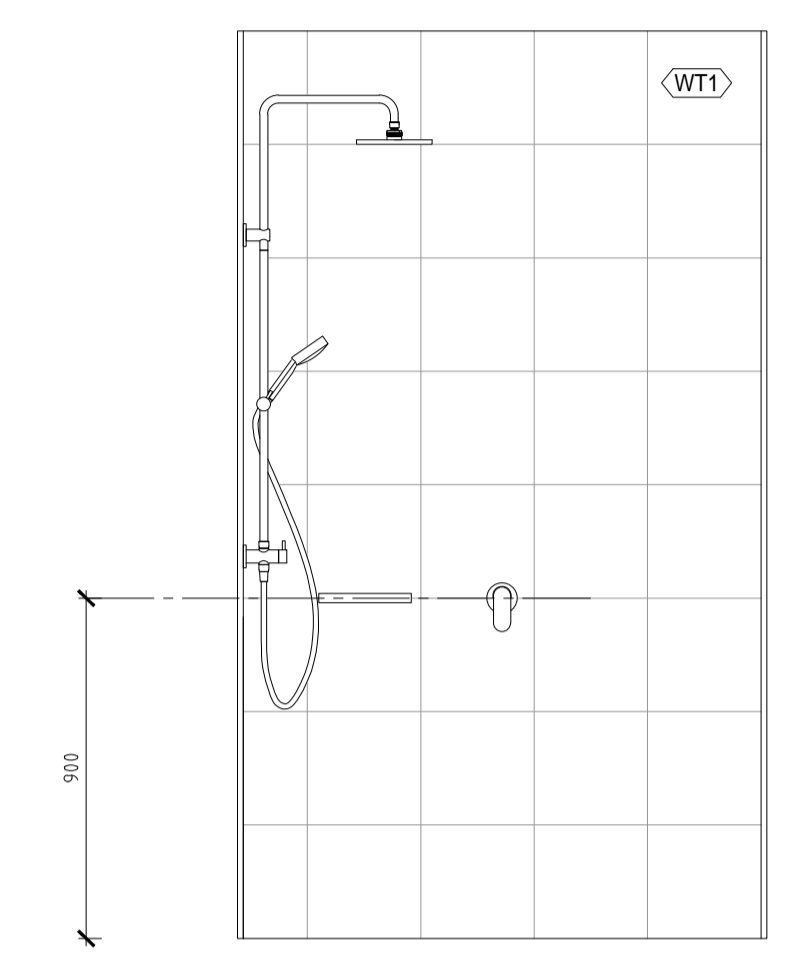
- KITCHEN, BATHROOM AND JOINERY NOTES**
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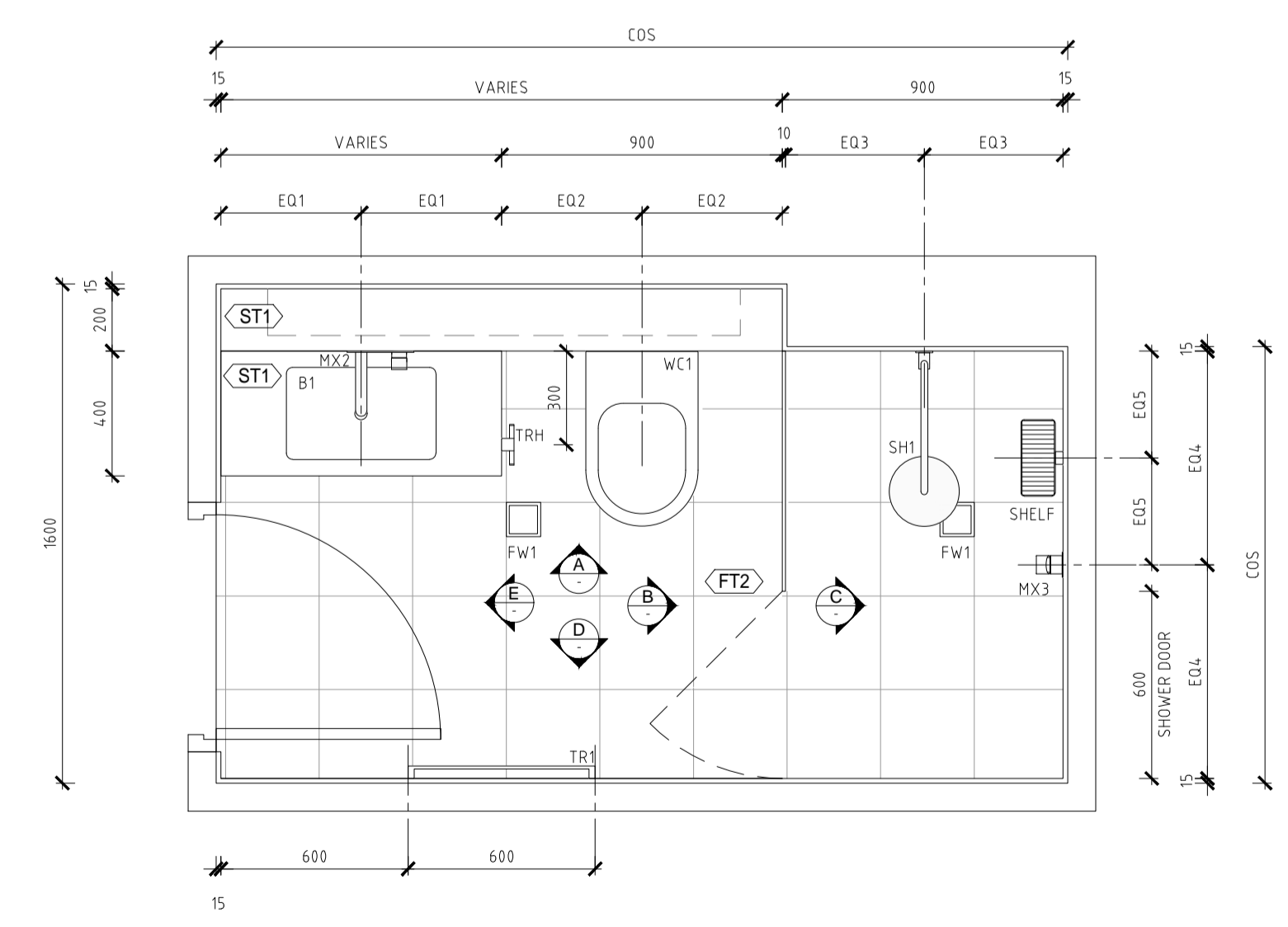
02 ELEVATION A
SCALE 1:20 @ A1



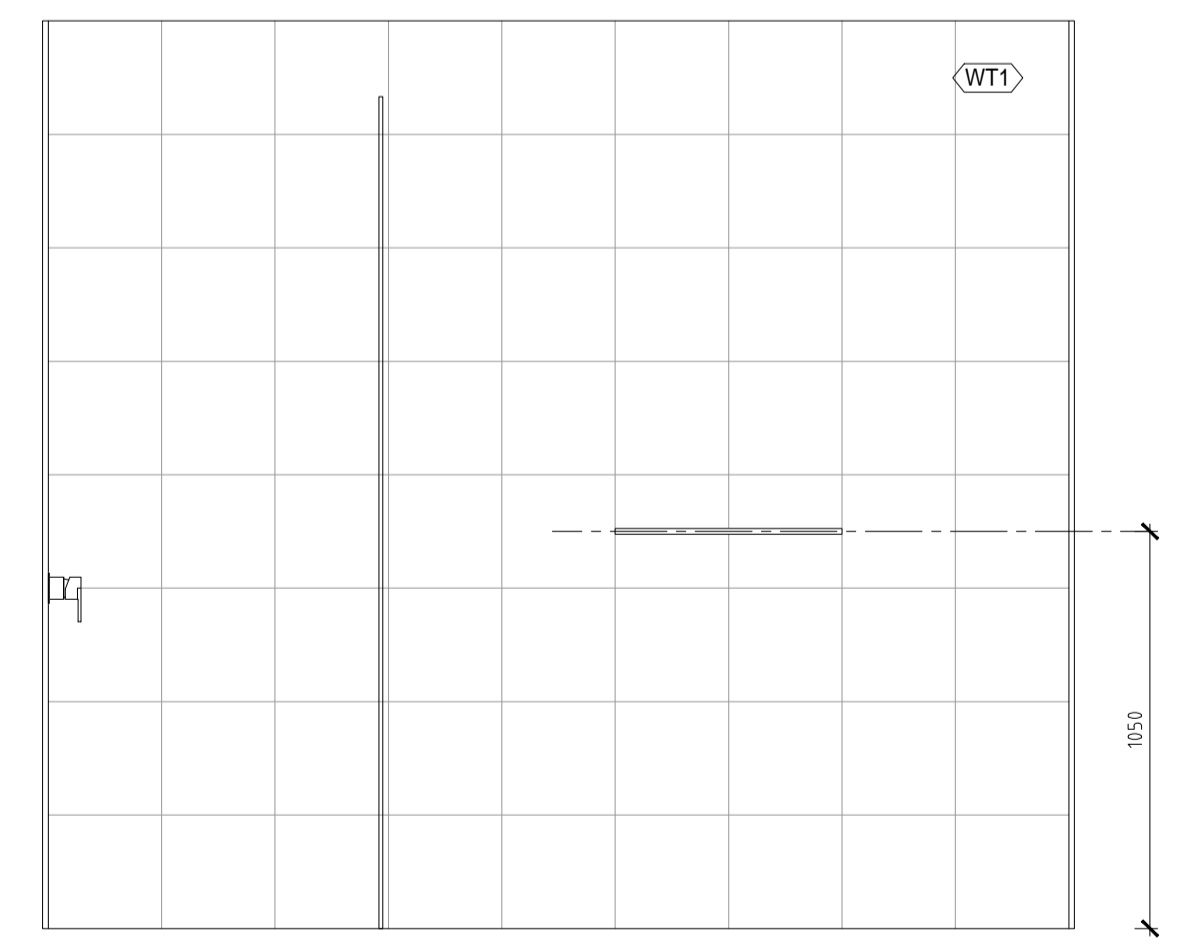
03 ELEVATION B
SCALE 1:20 @ A1



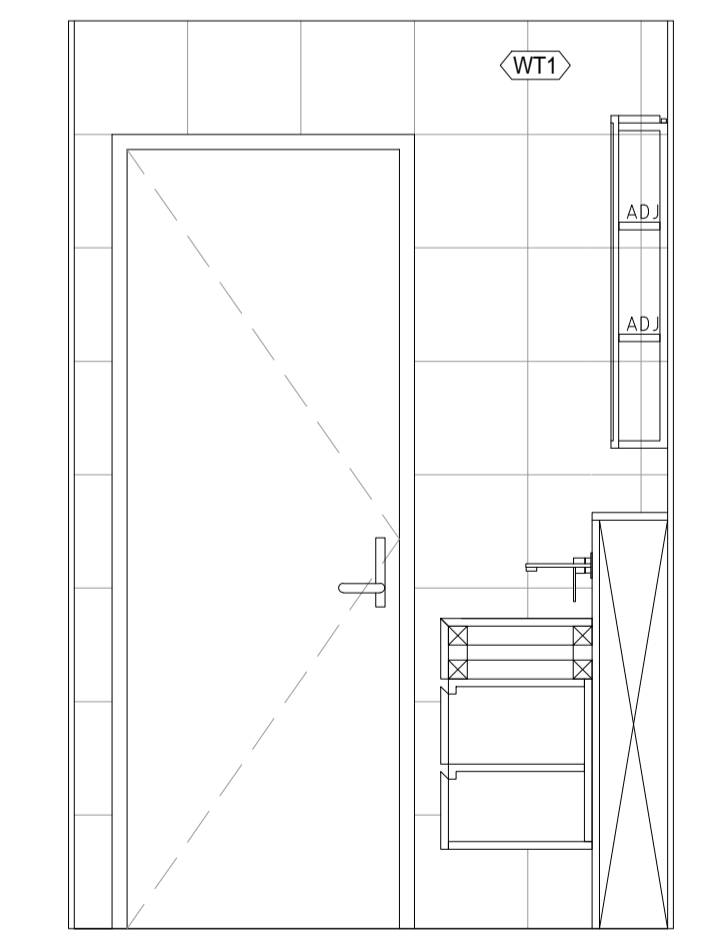
04 ELEVATION C
SCALE 1:20 @ A1



01 DETAIL PLAN
SCALE 1:20 @ A1



05 ELEVATION D
SCALE 1:20 @ A1



06 ELEVATION E
SCALE 1:20 @ A1

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8899-02-2019-CC
DATE ISSUED: 25/06/2019
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TRENTON JONES FOR A&D
ACCREDITATION NO. BPB0203

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| 1 | 07.06.2019 | ISSUED FOR D&C USED DURING CONSTRUCTION |
| A | 12.04.2019 | ISSUED FOR REVIEW |

CLIENT:
LORDS GROUP
P - 02 9191 0622
Level 7/80 George St, Parramatta NSW 2150

ARCHITECT:
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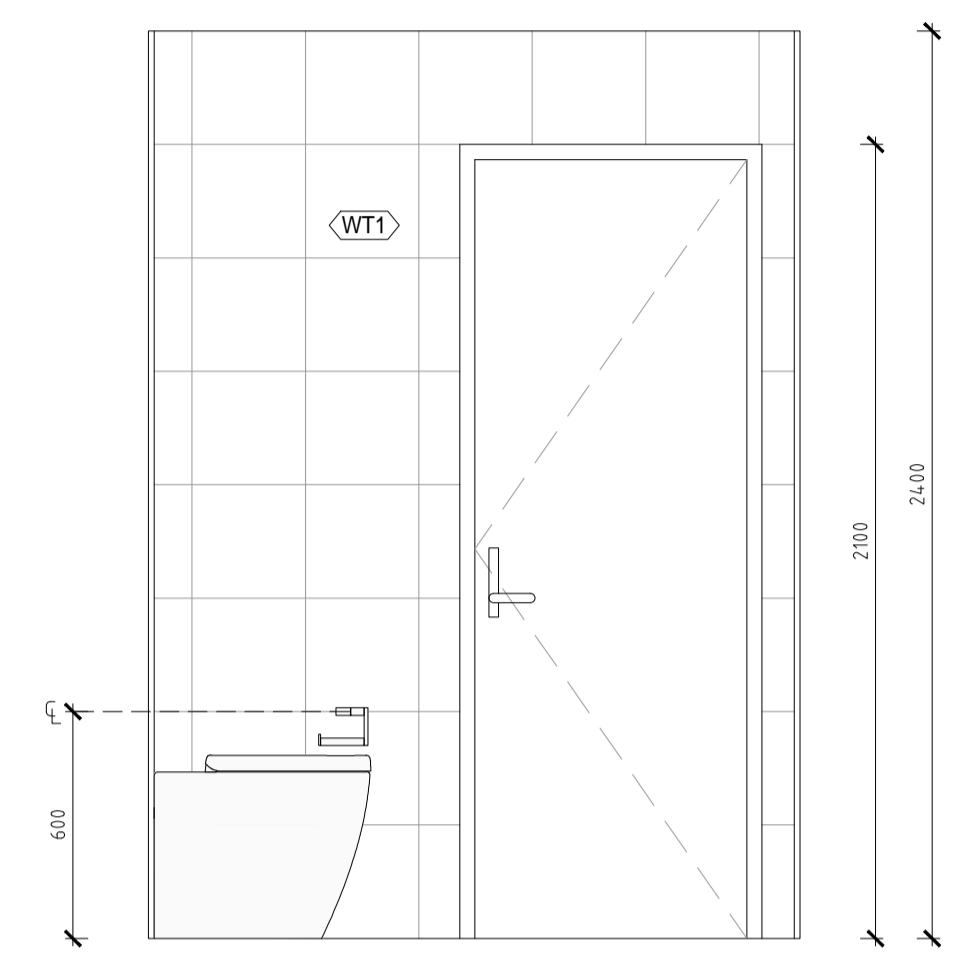
PROJECT:
11-15 MITCHELL AVENUE, JANNALI

JANUARY 2019
DRAWING TITLE:
WET AREA DETAIL - TYPE A

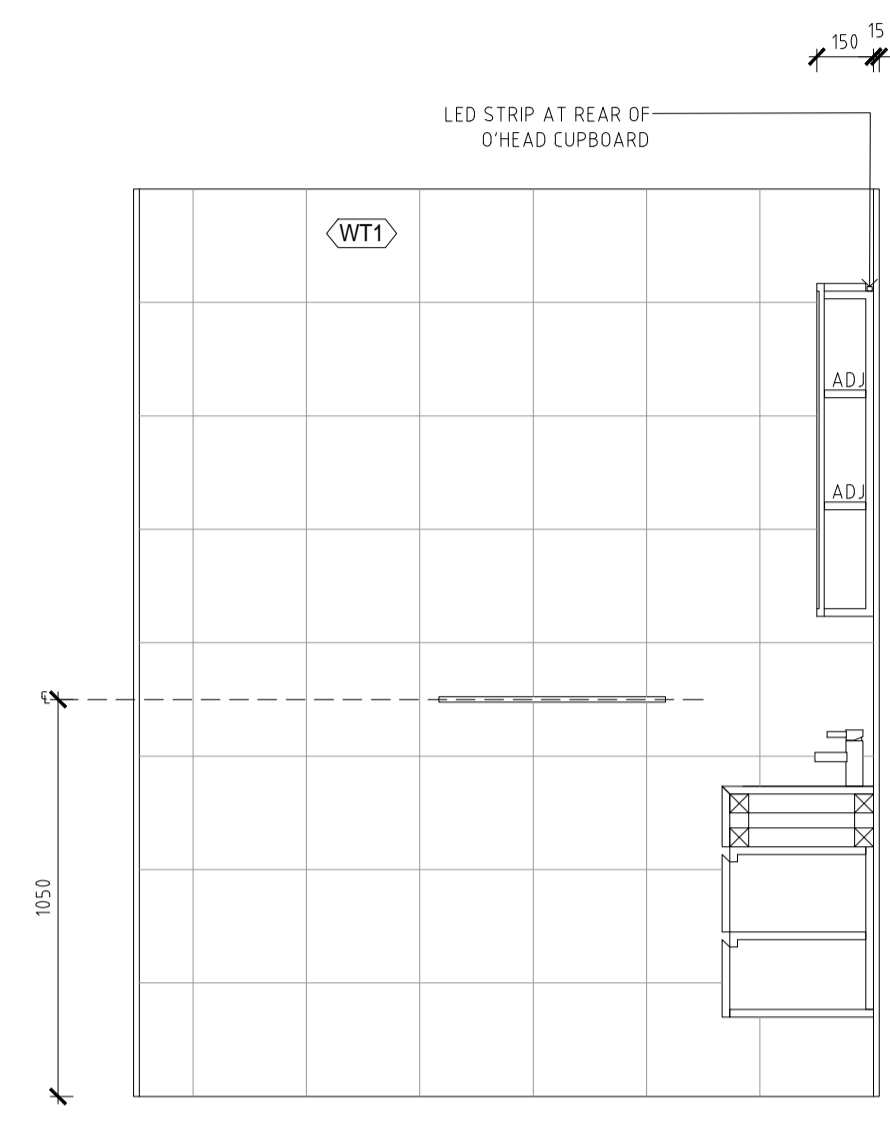
| SCALE: | DRAWING NO: | ISSUE: |
|-----------------------|--------------|----------|
| 1:20 @ A1 / 1:40 @ A3 | A7201 | 1 |
| PROJECT NO: 1747 | | |

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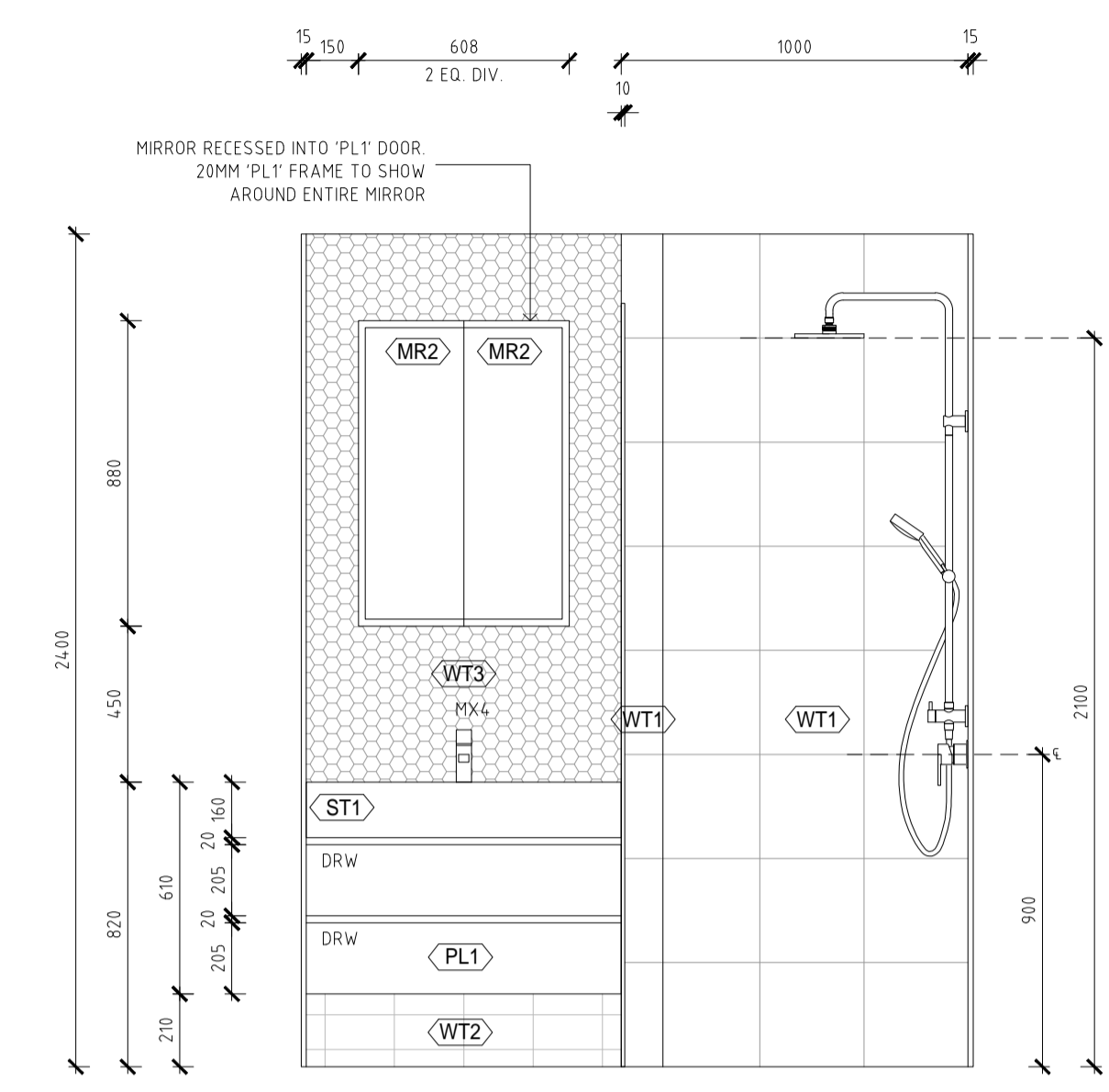
- KITCHEN, BATHROOM AND JOINERY NOTES**
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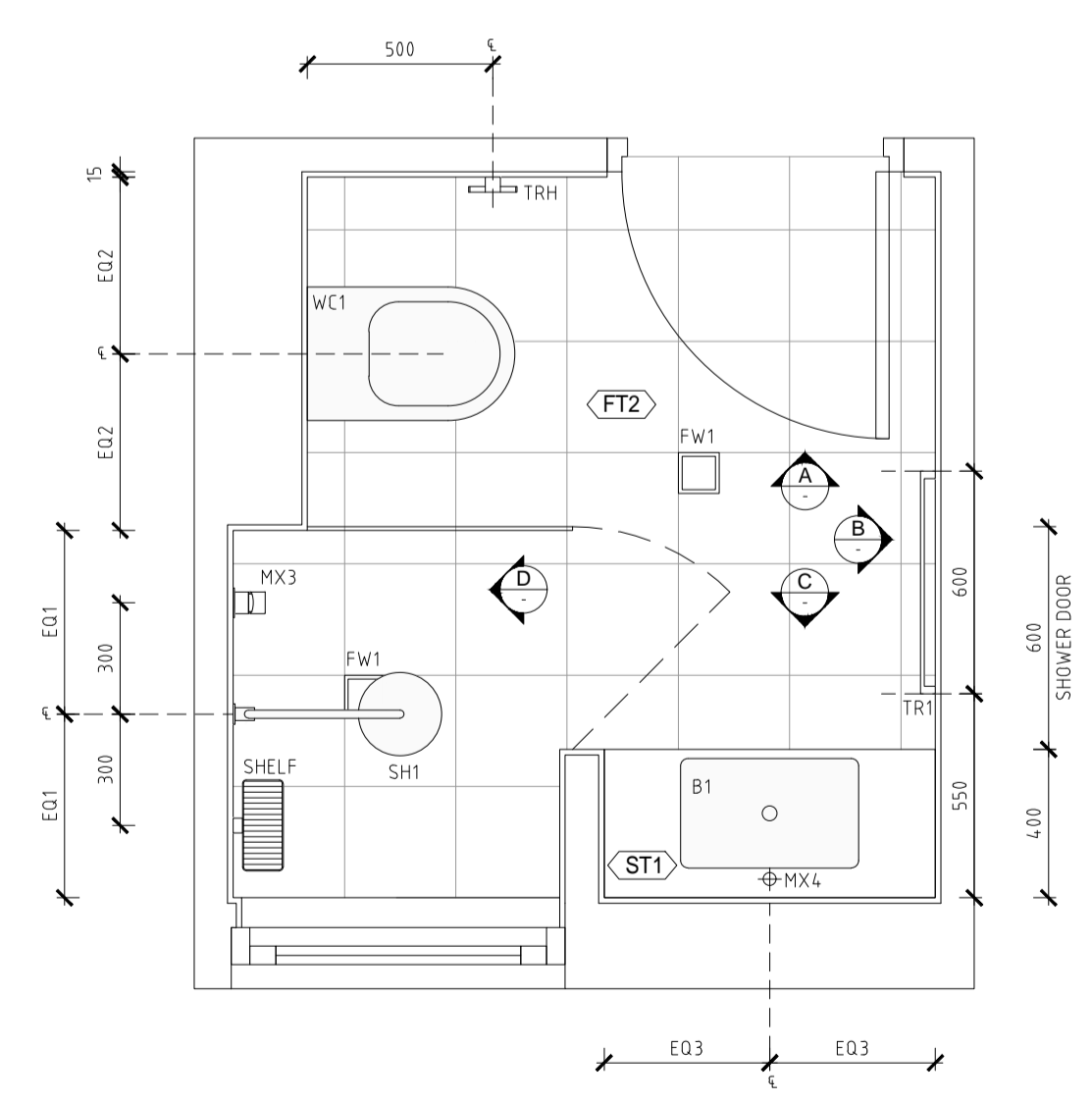
02 ELEVATION A
SCALE 1:20 @ A1



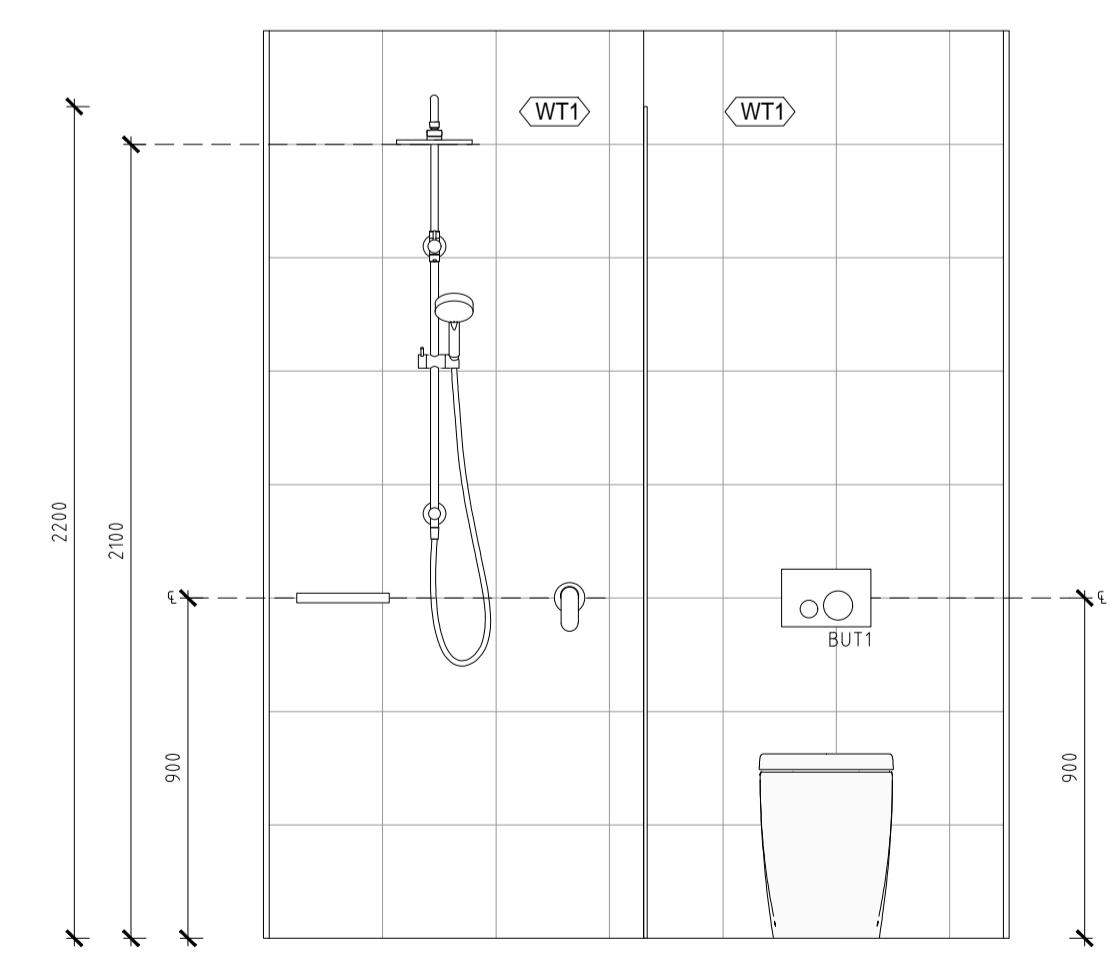
03 ELEVATION B
SCALE 1:20 @ A1



04 ELEVATION C
SCALE 1:20 @ A1



01 DETAIL PLAN
SCALE 1:20 @ A1



05 ELEVATION D
SCALE 1:20 @ A1

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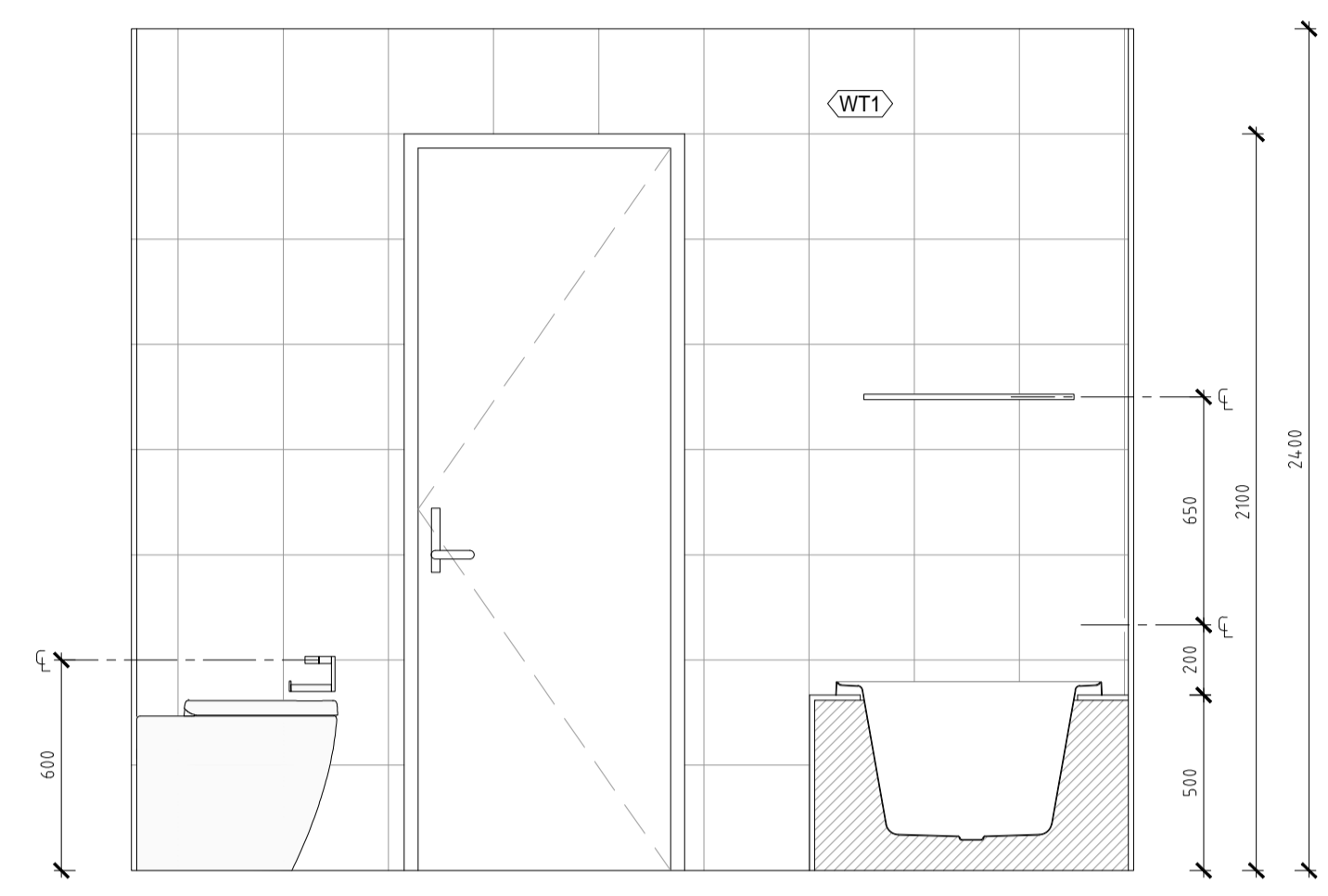
PROJECT:
11-15 MITCHELL AVENUE, JANNALI
JANUARY 2019

DRAWING TITLE:
WET AREA DETAIL - TYPE B

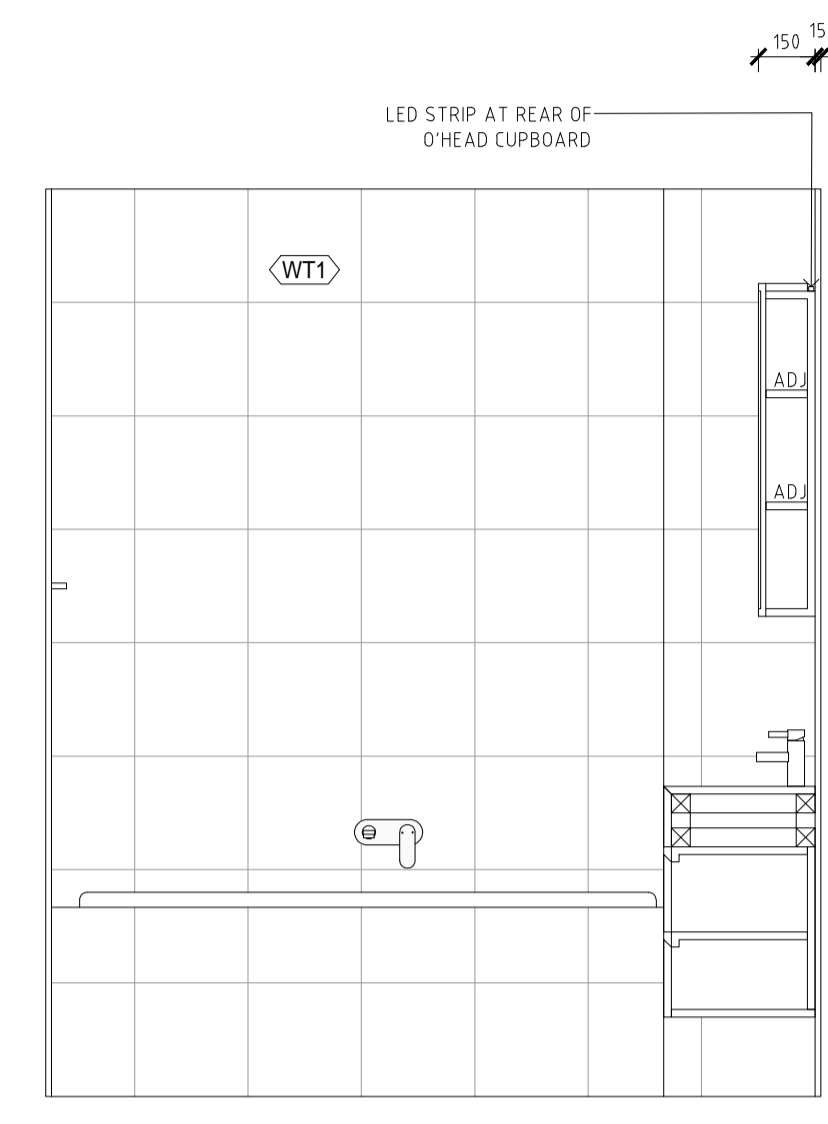
| SCALE: | DRAWING NO: | ISSUE: |
|-----------------------|--------------|----------|
| 1:20 @ A1 / 1:40 @ A3 | A7202 | 1 |
| PROJECT NO: 1747 | | |

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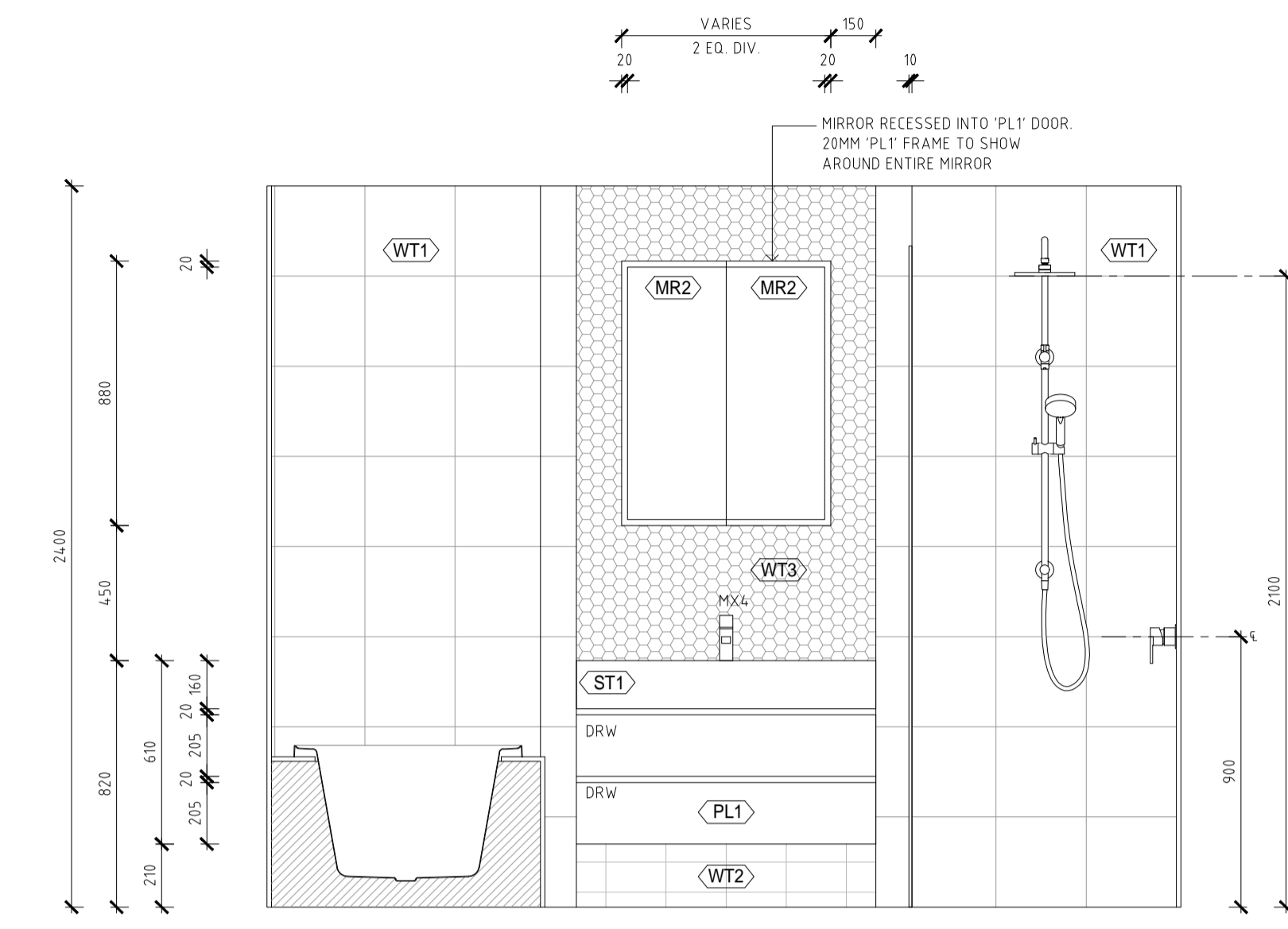
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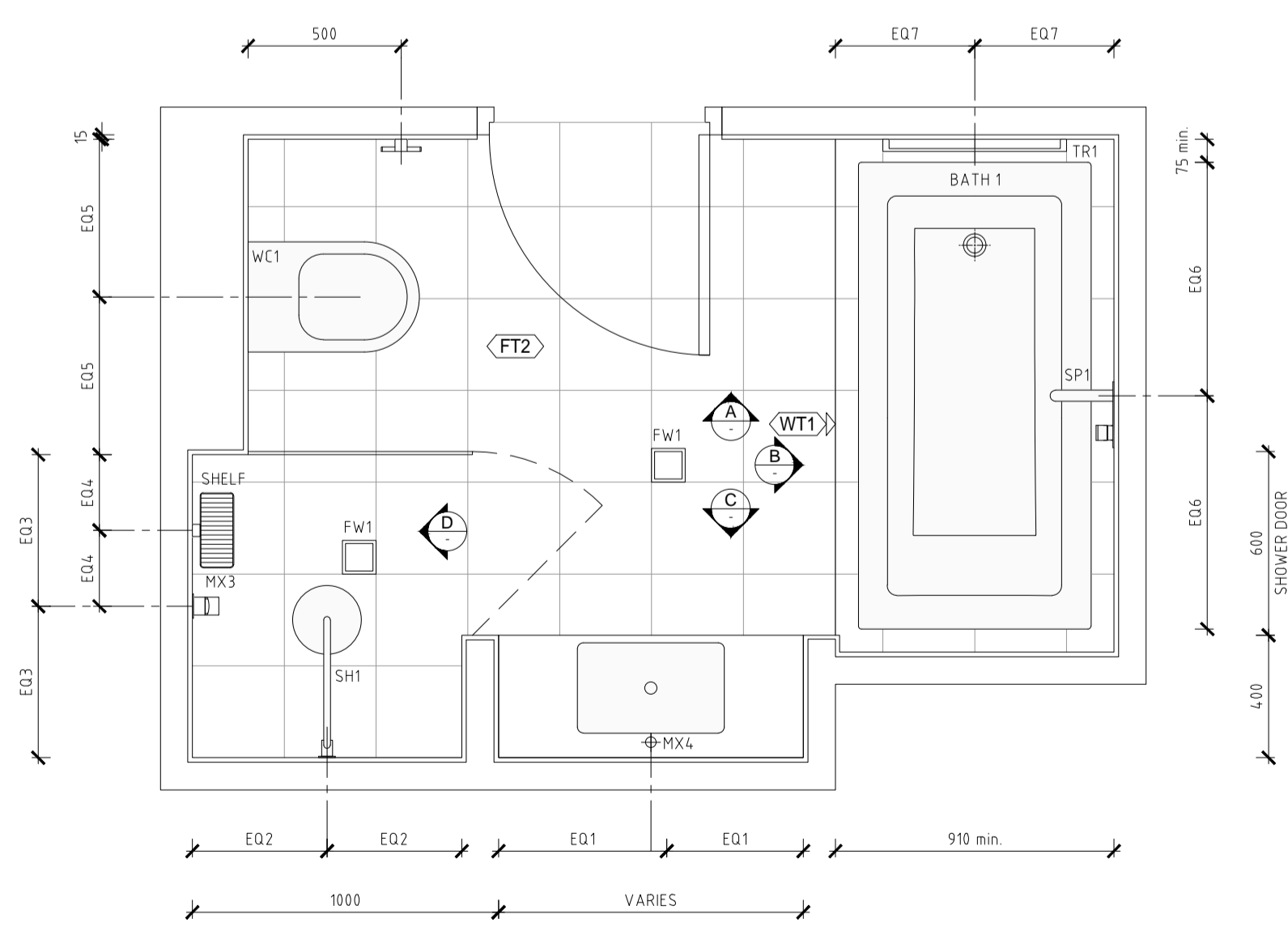
02 ELEVATION A
SCALE 1:20 @ A1



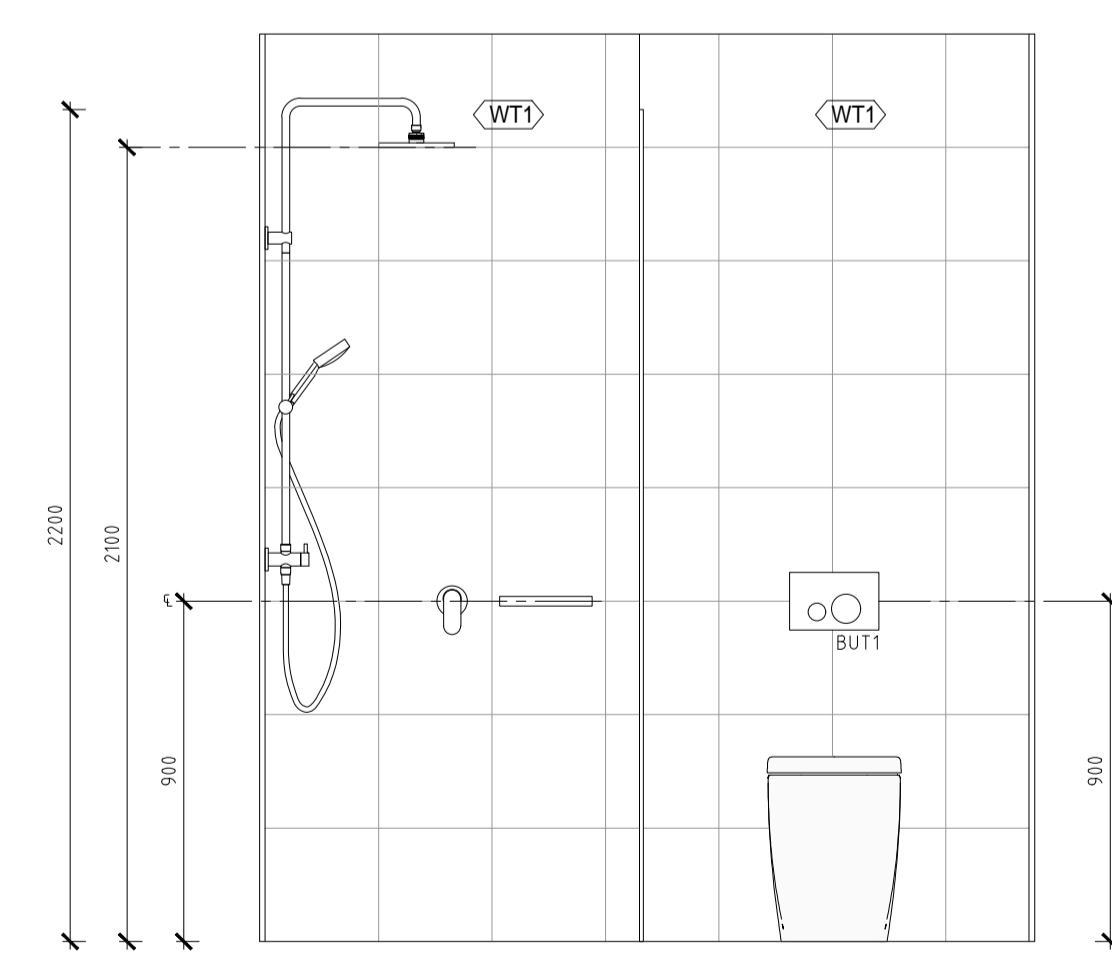
03 ELEVATION B
SCALE 1:20 @ A1



04 ELEVATION C
SCALE 1:20 @ A1



01 DETAIL PLAN
SCALE 1:20 @ A1



05 ELEVATION D
SCALE 1:20 @ A1

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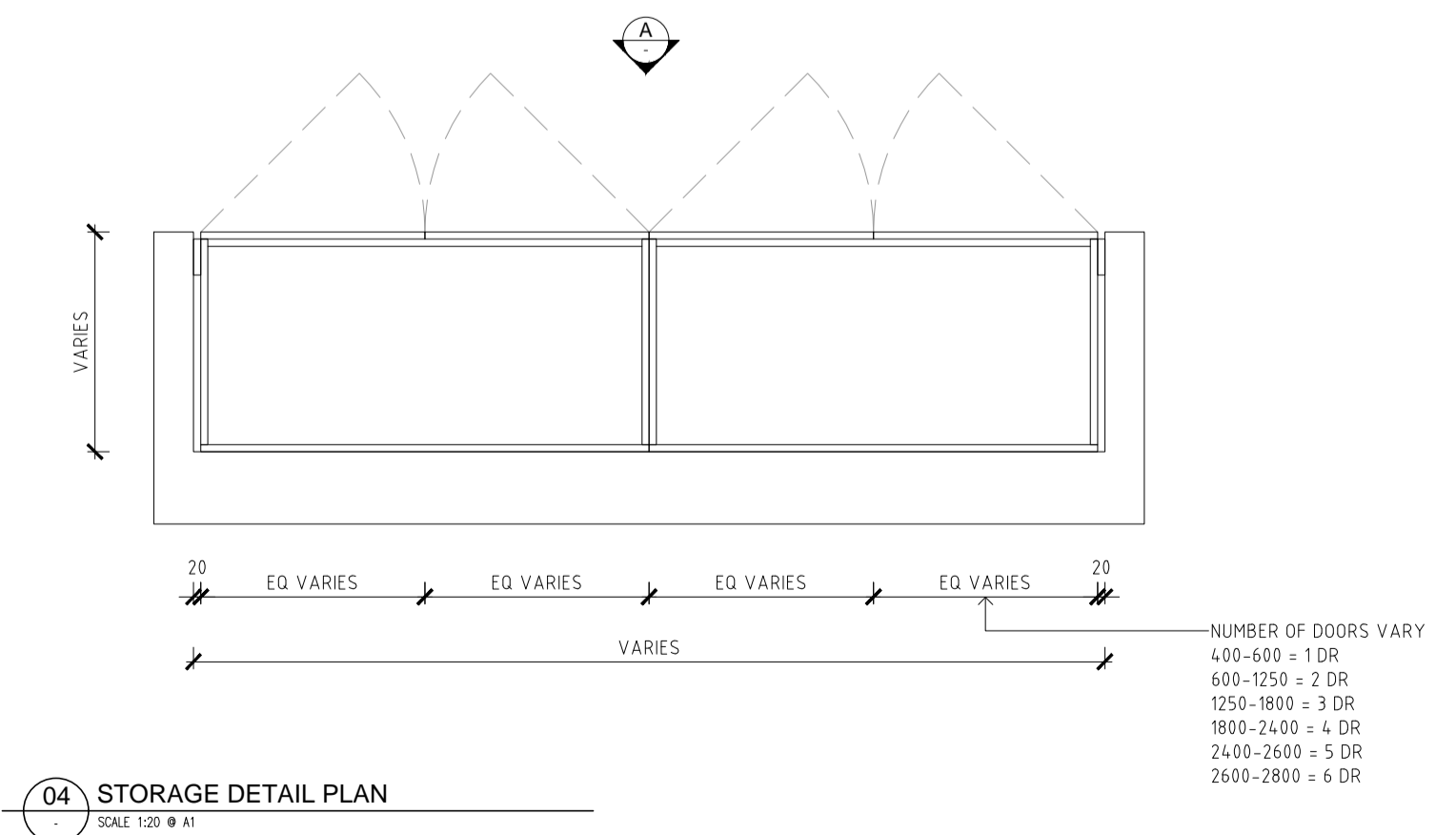
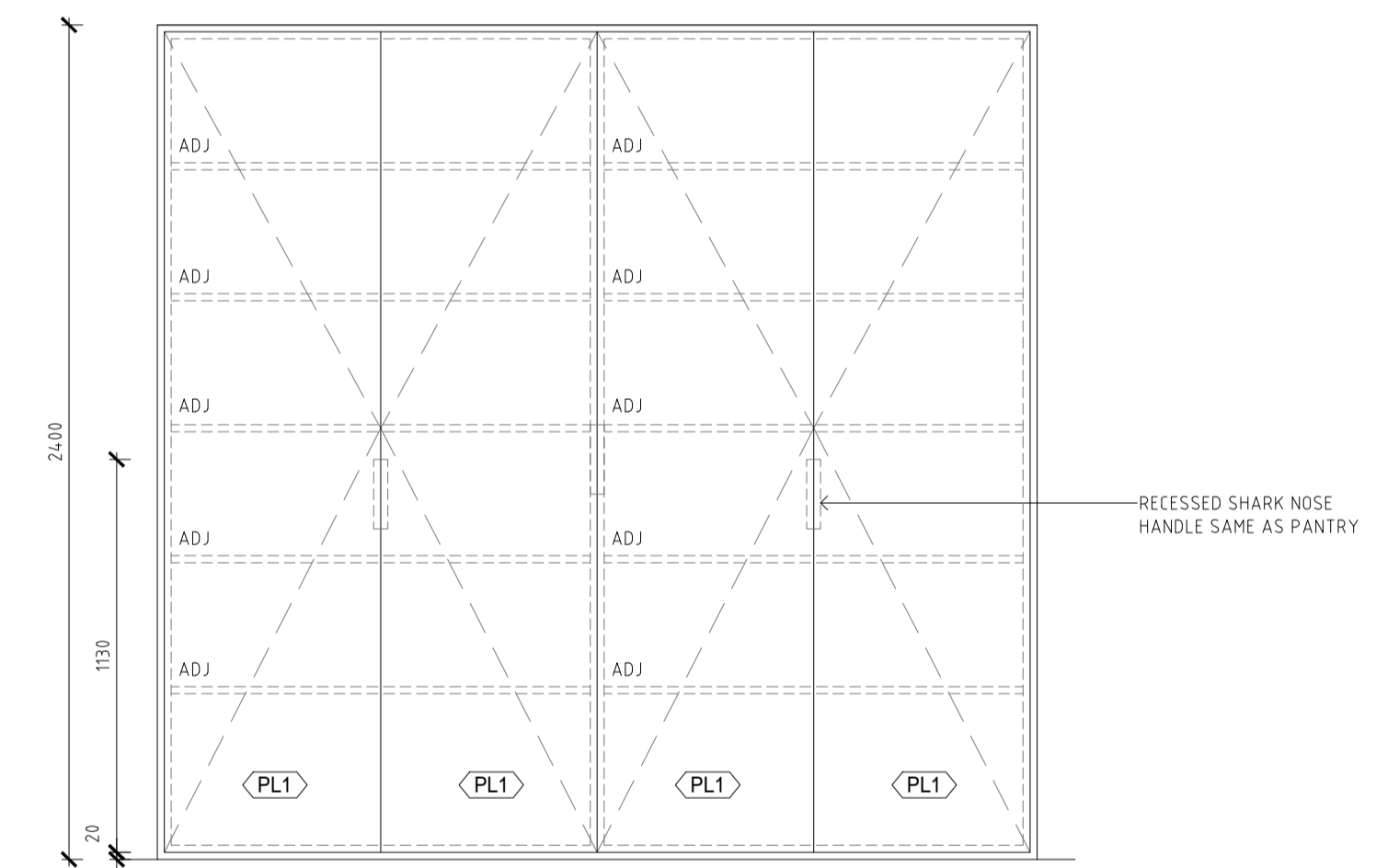
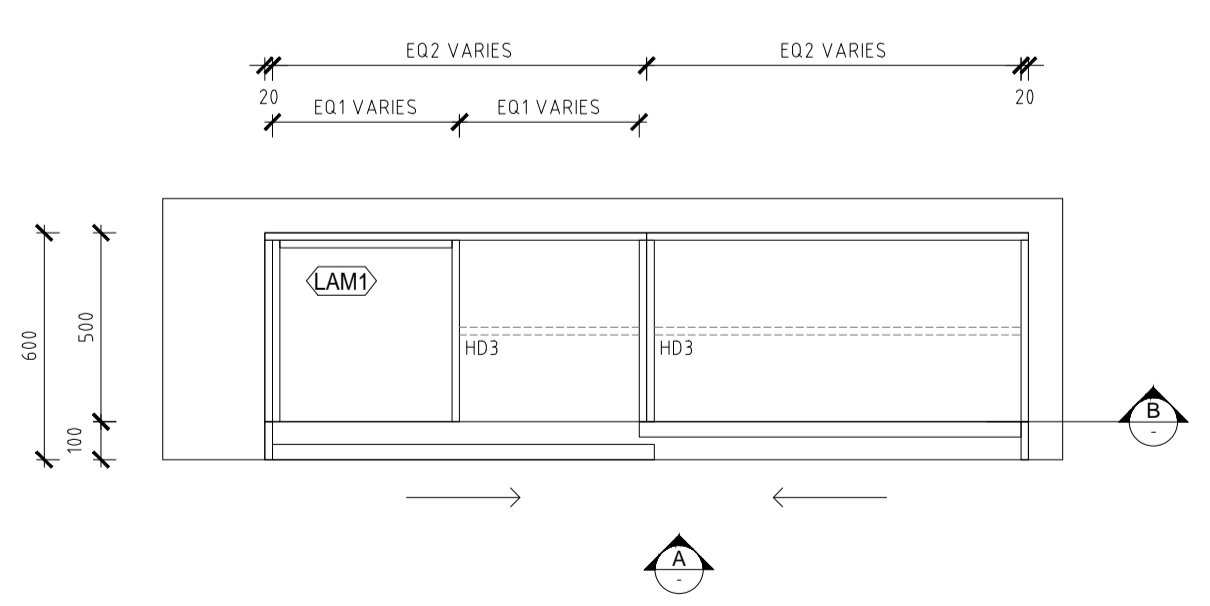
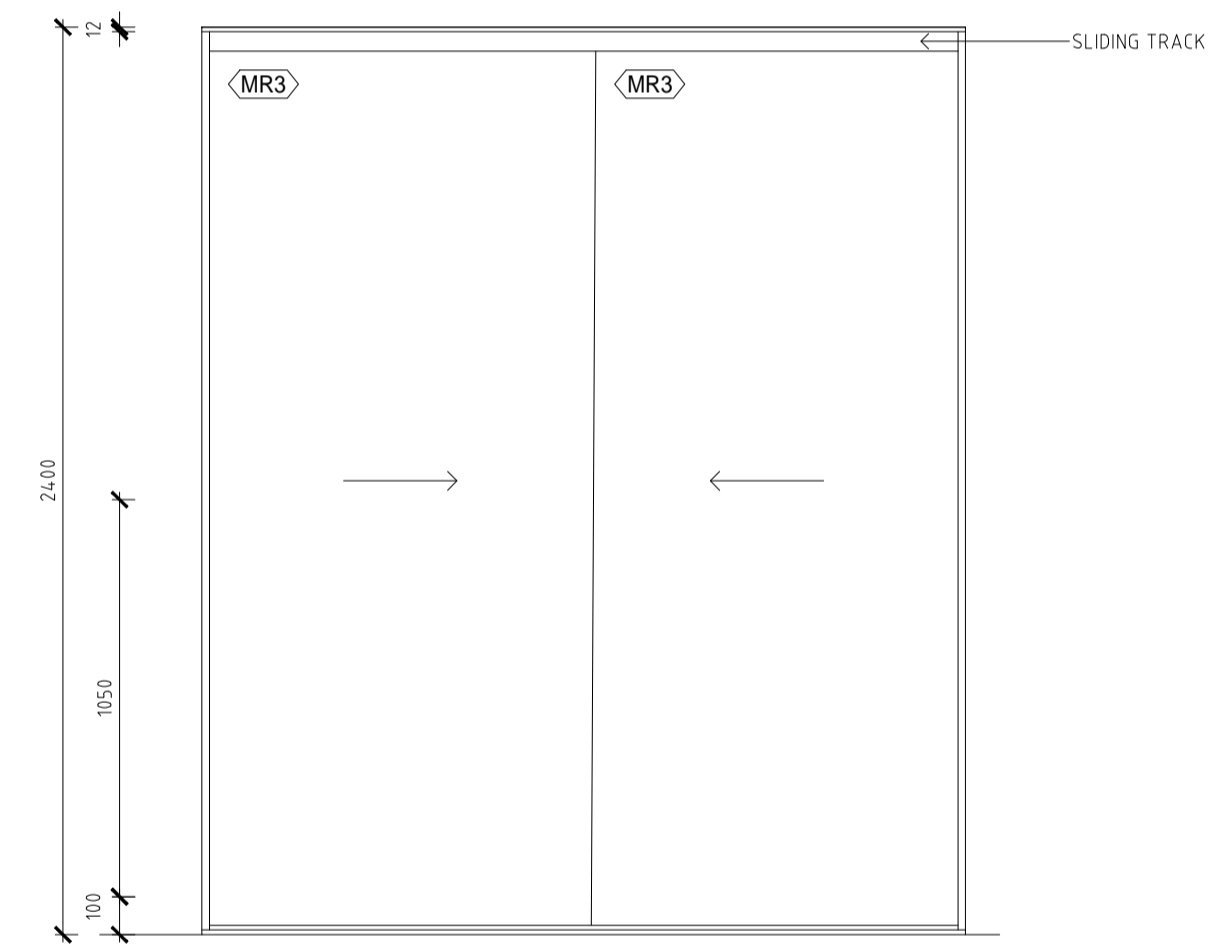
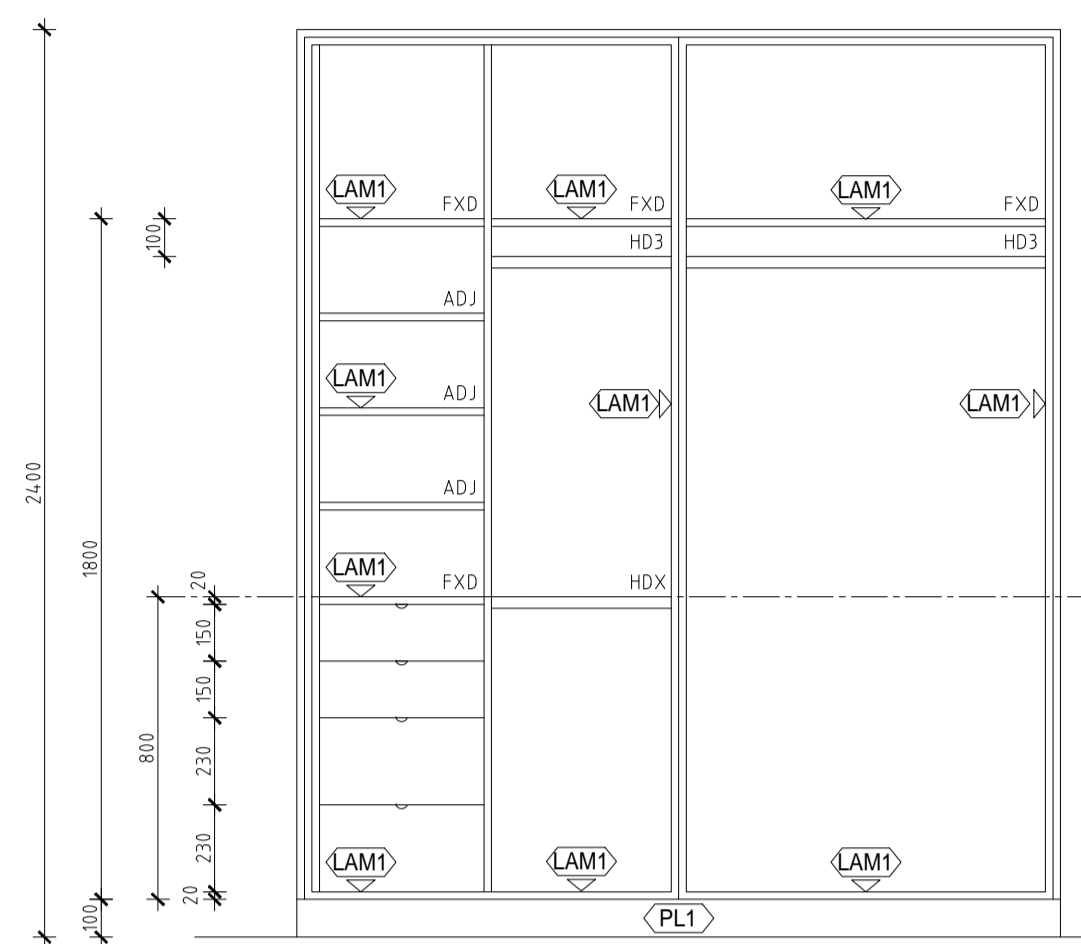
PROJECT:
11-15 MITCHELL AVENUE, JANNALI
JANUARY 2019

DRAWING TITLE:
WET AREA DETAIL - TYPE C

| SCALE: | DRAWING NO: | ISSUE: |
|-----------------------|--------------|----------|
| 1:20 @ A1 / 1:40 @ A3 | A7203 | 1 |
| PROJECT NO: 1747 | | |

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TRENTON JONES FOR AEAD
ACCREDITATION NO. BPP0203

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PROJECT:
11-15 MITCHELL AVENUE, JANNALI
JANUARY 2019

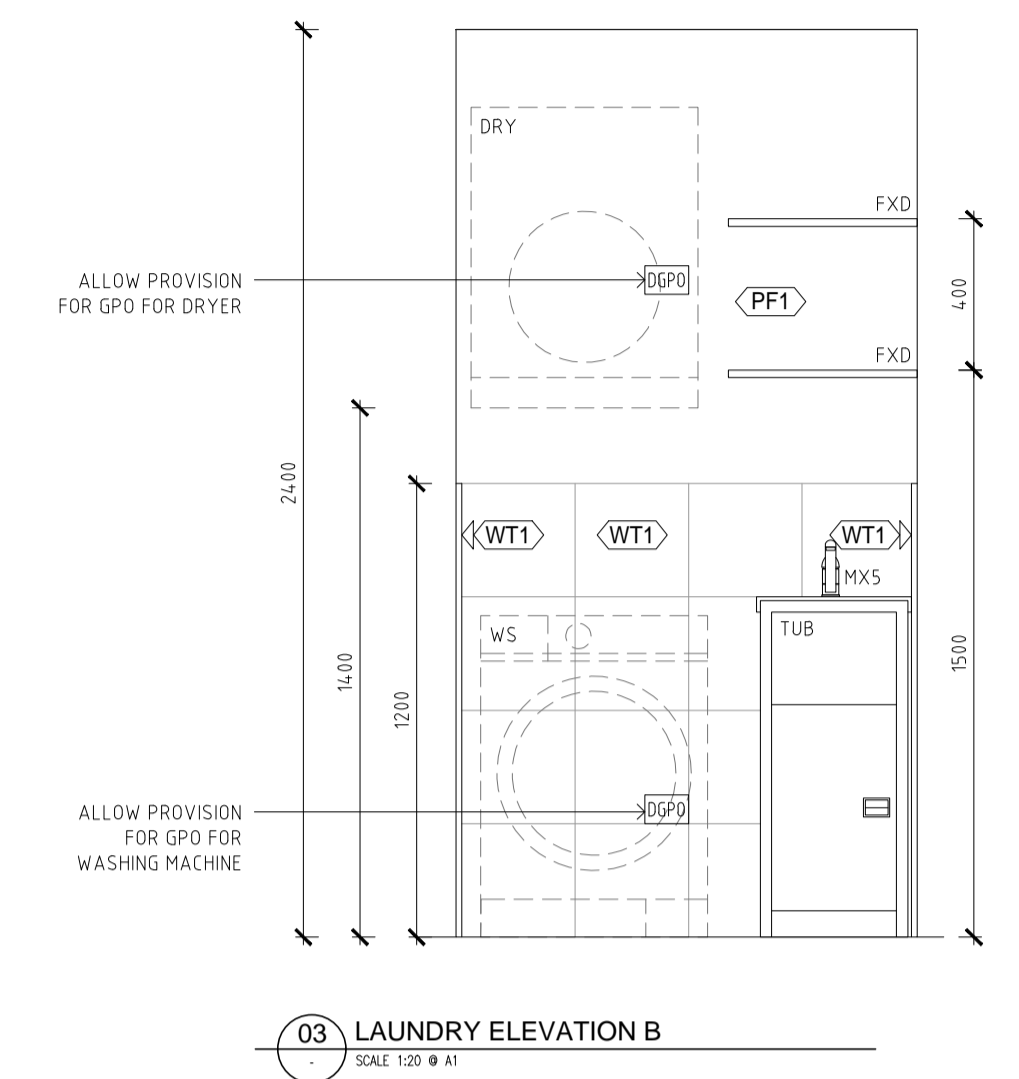
DRAWING TITLE:
TYPICAL JOINERY DETAILS

**THIS DRAWING IS ISSUED FOR D&C USED DURING CONSTRUCTION
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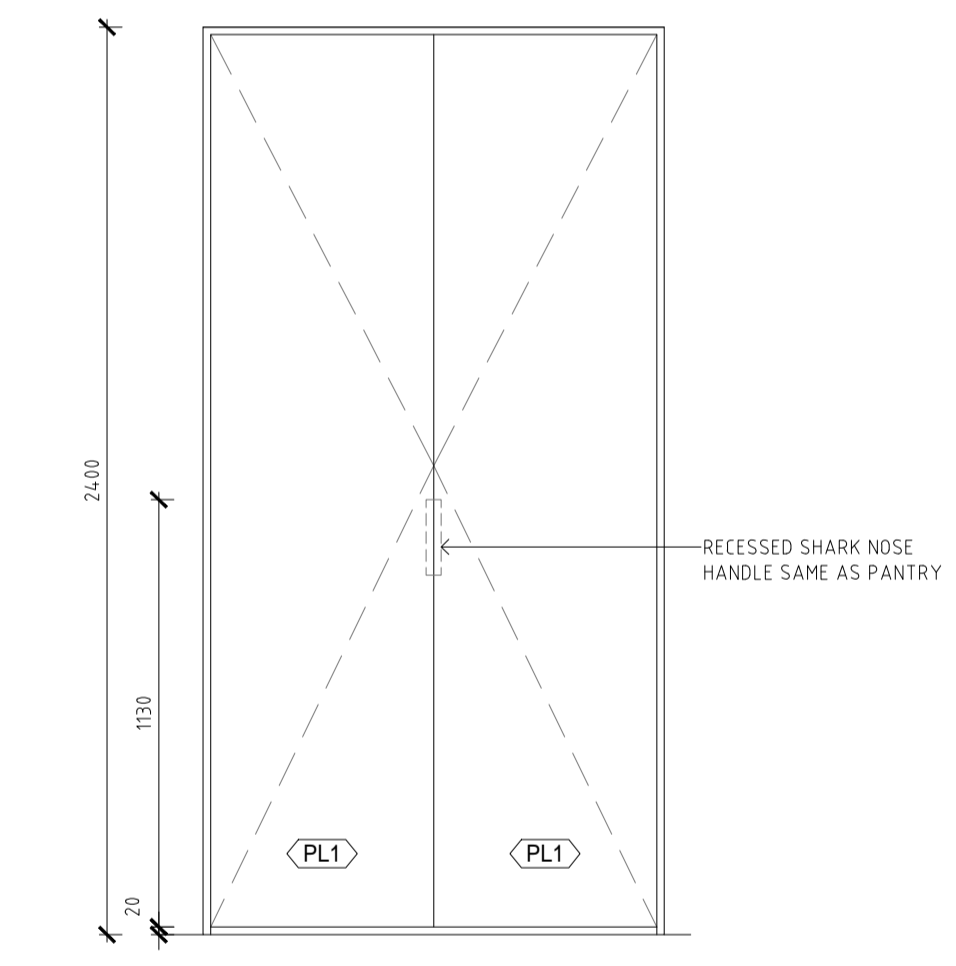
| | | |
|---------------------------------|-------------------------------------|--------------------|
| SCALE: 1:20 @ A1 / 1:40 @ A3 | DRAWING NO: A7301 | ISSUE: 1 |
| PROJECT NO: 1747 | Harper Building Consultants Pty Ltd | |

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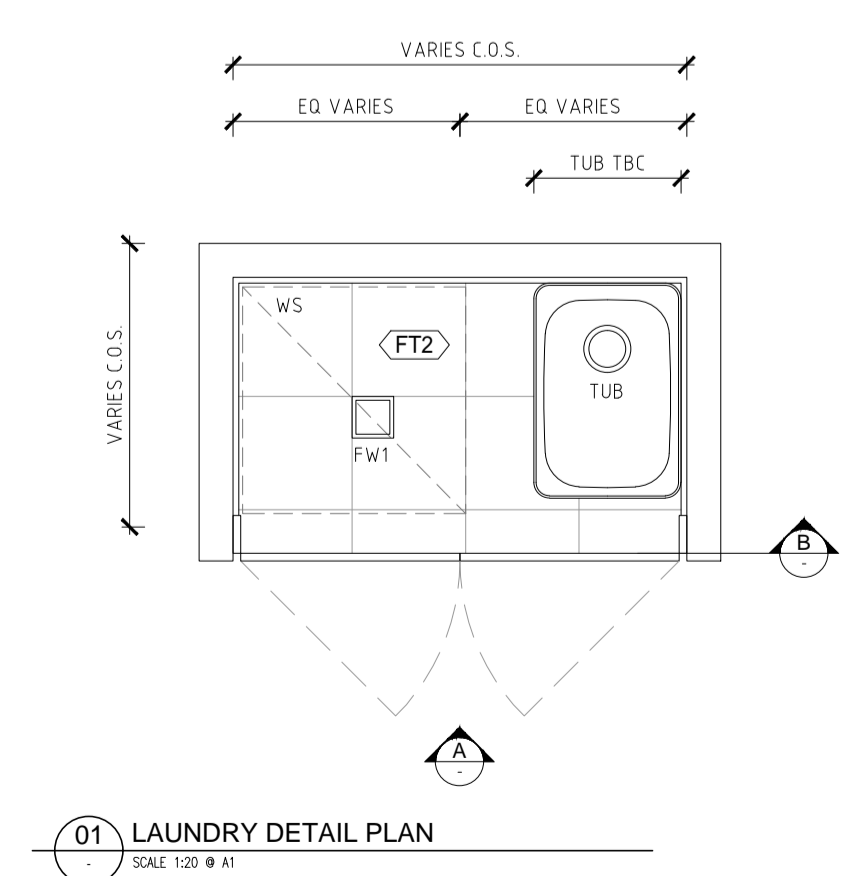
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03 LAUNDRY ELEVATION B
SCALE 1:20 @ A1



02 LAUNDRY ELEVATION A
SCALE 1:20 @ A1



01 LAUNDRY DETAIL PLAN
SCALE 1:20 @ A1

THIS DRAWING IS ISSUED FOR D&C USED DURING CONSTRUCTION
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
11-15 MITCHELL AVENUE, JANNALI
JANUARY 2019

DRAWING TITLE:
TYPICAL LAUNDRY DETAILS

| | | |
|--|------------------------------|--------------------|
| SCALE: 1:20 @ A1 / 1:40 @ A3 | DRAWING NO.: A7302 | ISSUE: 1 |
| PROJECT NO.: 1747 | | |



Project: 11-15 Mitchell Ave, Jannali
INTERIOR FINISHES SCHEDULE
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ACCREDITATION NO. BPB0203

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| LOCATION | ITEM | MATERIAL/ DESCRIPTION | CODE | COLOUR/ RANGE | Cost | SUPPLIER | IMAGE | ISSUE |
|----------------------------------|-----------------|-------------------------------------|------|---------------|------|--|-------|-------|
| INTERNAL FINISHES | | | | | | | | |
| Floor Finishes | | | | | | | | |
| Living, Kitchen, Dining | Floor Tile | Madera | FT1 | Tan | | Skheme Nathan Danks 02 8755 2300 | | 1 |
| Bathrooms, Ensuites and Laundrys | Porcelain Tiles | Core Dims: 300x300 | FT2 | Cool Silver | | Skheme Nathan Danks 02 8755 2300 | | 1 |
| Bedrooms | Carpet | Toulon 30 80% Wool 20% Synthetic | CPT1 | Biscotti | | Normal Ellison Carpets | | 1 |
| Balconies and Terraces | Porcelain Tiles | Madera | FT3 | Tan | | Skheme Nathan Danks 02 8755 2300 | | 2 |
| Wall Finishes | | | | | | | | |

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| Living, Kitchen, Dining | Plasterboard | Dulux Wash n Wear Satin Finish | PF1 | Snowy Mountain Half | | Dulux www.dulux.com.au | | 1 |
| Bathrooms and Ensuites | Wall Tile | Core Matt Finish Dims: 300x300 | WT1 | Cool Silver | | Skheme Nathan Danks 02 8755 2300 | | 1 |
| Bathroom | Featured Tile | Core Matt Finish Dims: 100x200 | WT2 | Cool Silver | | Skheme Nathan Danks 02 8755 2300 | | 1 |
| Bathroom | Featured Tile | Savoy | WT3 | Grey Gloss | | Skheme Nathan Danks 02 8755 2300 | | 1 |



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|---|-----------------|---|------|---------------------------|------|---------------------------|-------|-------|
| Apartment Entry Door | Paint | Dulux Wash n Wear Satin Finish | DF1 | Snowy Mountain Half | | Dulux www.dulux.com.au | | 1 |
| Internal Doors | Paint | Dulux Wash n Wear Semi Gloss | DF2 | Natural White | | Dulux www.dulux.com.au | | 1 |
| Skirting Board | Timber Skirting | Timber Profile Code: SK01 Dims: 90 x 12mm | SK1 | Paint Finish to match PF1 | | Intrim Mouldings | | 1 |
| Ceiling Finishes | | | | | | | | |
| Apartment Ceiling - general area Lobby Ceiling | Plasterboard | Rondo P50 stopping bead to ceiling and wall junction. Paint finish | PF2 | Ultra White | | Dulux www.dulux.com.au | | 1 |



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| Apartment Ceiling - wet areas Accessible Bathroom | Moisture resistant plasterboard | Square set to junction with wall Paint finish | PF2 | Ultra White | | Dulux www.dulux.com.au | | 1 |
| Bulkheads Over Kitchens | Plasterboard | Rondo P50 stopping bead to ceiling and wall junction. Paint finish | PF2 | Ultra White | | Dulux www.dulux.com.au | | 1 |
| Joinery Finishes | | | | | | | | |
| All Kitchens, Bathrooms and Laundries | Benchtop | Code: 4001 | ST1 | Fresh Concrete | | Caesarstone Jason Bockett 0438483496 | | 3 |
| Kitchen | Splashback | Grey reflections Code: DG4265 | MR1 | | | Decoglaze www.decoglaze.com (02) 9624 7100 | | 1 |



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| All Kitchens and Bathrooms | Island bench Joinery Doors Panels Vanity Cupboards Other misc. | 30% Gloss 2 Pac polyurethane | PL1 | Dieskau | | Dulux www.dulux.com.au | | 1 |
| All Kitchens, Vanities, Wardrobes and Storage | Joinery carcass and all shelves | Grey laminate 18mm with matching ABS edging | LAM1 | Equal to Laminex 'Fox' | | Laminex www.laminex.com | | 1 |
| All Kitchen and Vanities | Shadowline detail | Laminate 18mm board | LAM3 | Equal to Laminex 'White' | | Dulux www.dulux.com.au | | 1 |
| All Bathrooms | Bathroom Cabinets | Silverbacked mirror with 15 x15mm polyurethane box section - to match PL1 | MR2 | | | Decoglaze www.decoglaze.com (02) 9624 7100 | | 1 |
| All Bathrooms and Ensuites | Shower Screens | 6mm Semi-Frameless Clear Glass with Chrome frame | GL1 | | | | | 1 |

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| All Bedrooms | Robe mirror | TBC | MR3 | | | Builder's Preferred | | 2 |



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| Kitchen | Fixtures, Fittings and Appliances | Mixer | PARISI Envy Arch Sink Mixer Code: PP071HR.131 | MX1 | Brushed Chrome | |  | 6 Water | 4 Water | 1 |
| | | Single Sink | Lago Single Bowl Undermount Sink NTH Code: LG100UX--C | SINK1 | Stainless Steel | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com |  | | | 1 |
| | | Double Sink | Lago Project 660mm 1&1/3 Bowl U/Mount Sink NTH Code: LG180UX--C | SINK2 | Stainless Steel | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com |  | | | 1 |
| | | Cutlery Insert | Hafele or similar to suit drawer size | - | | Builder's Preferred | | | | 1 |
| | | Oven | AEG 60cm Oven Code: BEE455010M-C | OV1 | Stainless Steel and Black Glass | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com |  | | | 1 |
| | | Cooktop (4 burner) | AEG 60cm Stainless Steel Gas Cooktop Code: HG60FXM | CT1 | Stainless Steel | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com |  | | | 1 |



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| | Cooktop (5 burner) | AEG 75cm Stainless Steel Gas Cooktop Code: HG75FXA | CT2 | Stainless Steel | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| | Microwave | 46cm Built-In Microwave / Grill Code: MBE2658DM | MW1 | Stainless Steel and Black Glass | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| | Rangehood | AEG 54cm Integrated Rangehood Code: DGE5660HM | RH1 | Stainless Steel | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| | Rangehood | AEG 77cm Integrated Rangehood Code: DGE5860HM | RH2 | Stainless Steel | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| | Semi-Integrated Dishwasher | AEG Semi Integrated Dishwasher Code: FEE83700PM | DW1 | Stainless Steel / Joinery Panel | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | 4.5 Water 3.5 Energy | 2 Water 2.5 Energy | 1 |
| Bathrooms & Ensuites | | | | | | | | | | |

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| | WC Pan & Seat | PARISI Linfa W/Faced Pan w/- Linfa SC Seat Code: PN770T--C | WC1 | White Ceramic | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com |  | | | 1 |
| | Undermounted Basin / Benchmount | PARISI Box Undercounter Basin Code: AC270 | B1 | White Ceramic | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com |  | | | 1 |
| | Basin Tapset (wall mounted) | Parisi Elli Wall Mixer Elliptical Plate w/- 160mm Spout Code: PE012E160.31 | MX2 | Brushed Chrome | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com |  | 6 Water | 5 Water | 1 |
| | Basin Mixer (Deck mounted) | Parisi Elli Basin Mixer Code: PE.01-1H | MX4 | Brushed Chrome | | |  | 6 Water | 5 Water | A |
| | Shower Head | Parisi Envy Shower Column w/ Sliding Rail (BRUSHED CHROME) Code: PP.08-D2W.31 | SH1 | Brushed Chrome | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com |  | 3 Water | 3 Water | 1 |

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| | Shower Wall Mixer | Parisi Elli Shower/Bath Mixer Complete Code: PE05.31 | MX3 | Brushed Chrome | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| | Wall Mixer | Parisi Elli Wall Mixer Elliptical Plate w/- 220mm Spout Code: PE012E220.31 | SP1 | Brushed Chrome | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | 6 Water | 5 Water | 1 |
| | Bath | Newbury 1525mm Island Bath Dims: 1525x760x456 | BATH 1 | White Acrylic | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | A |
| | Robe Hook | Parisi L'Hotel Robe Hook Code: NE021.131 | HK | Brushed Chrome | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| | Toilet Roll Holder | Parisi L'hotel Toilet Roll Holder Code: NE026.31 | TRH | Brushed Chrome | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |



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| | Towel Rail | Parisi L'Hotel Towel Rail - 600mm Code: NE02812.131 | TR1 | Brushed Chrome | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| | Shower Shelf | Parisi L'Hotel Soap Rack - 250mm Code: NE022B.31 | SHELF | Brushed Chrome | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| | Concealed Cistern | Parisi Inwall Concealed Cistern Code: PA136 | CIST1 | | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | 4 Water | 4 Water | 1 |
| | Push Button & Plates | Parisi Tondo Round Pushplate To Suit Inwall Cistern Code: PA221--C | BUT1 | Brushed Chrome | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| | Plug and Waste Hand Basin | Parisi to suit basin | PLUG | | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |

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| | Floor Waste | FORME -- Square Waste Tile Insert 110x110x36mm Code: FD11XS90T C | FW1 | | | Harvey Norman Nicole Mensforth 0400 981 608 nicole.mensforth@au.harveynorman.com | | | | 1 |
| Laundry | | | | | | | | | | |
| Fixtures and Fittings | Dryer | TBC | DRY | | Dryer with wall mounting kit | | | | | B |
| | Tub | TBC | TUB | | | | | | | B |
| | Mixer | TBC | MX5 | Brushed Chrome | | | | | | B |
| | Washing Machine | TBC | WS | | | | | | | B |
| Hardware | | | | | | | | | | |
| All Drawers | Drawer runners | | HD1 | Stainless Steel | - | Blum or approved equivalent | | | | 1 |
| All Joinery Doors | Joinery hinges | | HD2 | Stainless Steel | - | Blum or approved equivalent | | | | 1 |
| Wardrobes | Hanging rail | | HD3 | Matt Black | | Builder's Preferred | | | | 1 |
| All Bathrooms | Shower Screen Patch Fittings | Regency Semi-Frameless Shower Screen | HD5 | Chrome | | Regency screens or similar | | | | 1 |
| Internal Sliding Doors | Recessed Handle | Lockwood Stainless Steel Flush Pulls Dims: 120x50mm Code: FP1-120 | HD6 | Satin stainless steel | | Lockwood | | | | 1 |

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| All Apartment Doors incl. Entry Door | Lever Set | Lockwood 55mm Velocity Series Dianella Level 8 | DH1 | Satin Chrome Brushed | AS1428 COMPLIANT | Lockwood |  | | | 1 |
| All Internal Doors | Lever Set | Lockwood 55mm Velocity Series Glide Level L4 | DH2 | Satin Chrome Brushed | | Lockwood |  | | | 1 |
| All Bathrooms Door | Lever Set w/ privacy latch | Lockwood 55mm Velocity Series Glide Level L4 Glide Privacy Sets with Latch | DH3 | Satin Chrome Brushed | | Lockwood |  | | | 1 |
| Lighting | | | | | | | | | | |
| General Area | Recessed Downlight | BLDL-007W-10 Dims: 109 x 73 mm - 95 mm Ø Light Source: 10W LED 300K | LT1 | White | | Bosco Lighting Gary Richards 02 9188 3471 |  | | | 1 |
| Wet Areas | IP Rated Recessed Downlight | BLDL-007W-10 IP Rating 44 Dims: 109 x 73 mm - 95 mm Ø Light Source: 10W LED 300K | LT2 | White | | Bosco Lighting Gary Richards 02 9188 3471 |  | | | 1 |
| All Kitchens, Bathrooms & Ensuites | Recessed LED Lighting Strip | BLEX-001-R Dims: 1600 x 24 x 9 mm 3000K | LT3 | White | \$50 + GST | Bosco Lighting Gary Richards (02) 9188 3471 |  | | | 1 |

Project: 11-15 Mitchell Ave, Jannali
FIXTURES, FITTINGS AND HARDWARE
NOT FOR CONSTRUCTION

| ISSUE REVISION | DATE | AMENDMENT/ DESCRIPTION |
|----------------|------------|---|
| 1 | 26/04/2018 | Preliminary Issue |
| A | 12/04/2019 | Issued for review |
| B | 7/06/2019 | Issued for D&C used during construction |

- NOTE:**
1. Read this schedule in conjunction with architectural documentation, DA Consent & Conditions
 2. Refer to service consultants specifications for all services layout & specifications
 3. Refer to Door / Window Schedule for Hardware
 4. Installation & Construction as per relevant BCA & Australian Standards
 5. Light / Dark Scheme to be coordinated by the builder

| LOCATION | ITEM | MATERIAL/ DESCRIPTION | CODE | COLOUR/ RANGE | NOTES | SUPPLIER | IMAGE | BASIX PROV | BASIX REQ. | ISSUE |
|------------------------|-----------------------------|--|------|---------------|-------|--------------------------------------|---|------------|------------|-------|
| Terraces and Balconies | IP Rated Wall Mounted Light | Tiga LED 93024 Dim8 W IP65 Code: 223 751 811 932 ED8 W | LT4 | White | | Inlite James Lock 0467 168 822 |  | | | 1 |



CONSTRUCTION CERTIFICATE NO.
8899-02-2019-CC

DATE ISSUED: 25/06/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.



TRENTON JONES FOR AE&D
ACCREDITATION NO. BPB0203

Binay Kumar

From: Kyra Donoso <kyrad@cpdm.com.au>
Sent: Tuesday, 14 May 2019 3:51 PM
To: Binay Kumar; Albert Zhang
Cc: Mark Jumikis
Subject: FW: 8899-01-2019-CC 11-15 Mitchell Avenue, Jannali

Flag Status: Flagged

FYI

Kyra Donoso
Assistant Development Manager



M: +61 417 113 188
E: kyrad@cpdm.com.au

Suite 02, Level 30, 133 Castlereagh St
Sydney 2000 NSW Australia

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From: Admin-AEDConsulting <admin@aedconsulting.com.au>
Sent: Tuesday, May 14, 2019 3:37 PM
To: 'kyrad@cpdm.com.au' <kyrad@cpdm.com.au>
Subject: 8899-01-2019-CC 11-15 Mitchell Avenue, Jannali

Dear Kyra,

We refer to your application for a Construction Certificate for the abovementioned project and advise that we have approved your application. The OneDrive link below contains the certification and all documents relied upon to make this determination as follows:

Construction Certificate No. 8899-01-2019-CC dated 10/05/2019

Plans and Specifications, stamped/certified by AED (as outlined in Schedule 1 of the Construction Certificate)

Attachments listed in Schedule 2 of the Construction Certificate

Notice to Commence Building Work & of a Principal Certifying Authority (PCA) emailed to Sutherland Shire Council on 10/05/2019 The Consent Authority must be advised two (2) days prior to works commencing.

https://aedconsultpty-my.sharepoint.com/:u:/g/personal/tracy_aedconsulting_com_au/Ec8ce87CNW5FmoR1ThOY8TYBSAn1uofU5LKwaHaGx-CwRw?e=hgDemJ

In accordance with *Clause 142(2) of the Environmental Planning & Assessment Regulation 2000*, a copy of the above has also been submitted to Council.

Mandatory inspections are applicable to this project in accordance with *Clause 162A of the Environmental Planning and Assessment Regulation 2000*. Failure to have these inspections carried out may result in Occupation Certificate not being issued. Reasonable notice is required to undertake these inspections.

Class 2 & 7a building:

| No. | Critical Stage Inspection | Inspector |
|-----|---|----------------------|
| | First Footings After the commencement of the excavation for, and before the placement of, the first footing. | Certifying Authority |
| | Service Penetrations Prior to covering of fire protection at service penetrations to building elements that are required to resist internal fire or smoke spread, inspection of a minimum of one of each type of protection method for each type of service, on each storey of the building comprising the building work. | Principal Certifier |
| | Bounding Wall Construction Prior to covering the junction of any internal fire-resisting construction bounding a sole-occupancy unit (SOU), and any other building element required to resist internal fire spread, inspection of a minimum of 30% of SOUs on each storey of the building containing SOUs | Principal Certifier |
| | Waterproofing Prior to covering of waterproofing in any wet areas, for a minimum of 10% of rooms with wet areas within a building. At least one unit is to be inspected. | Certifying Authority |
| | Stormwater Prior to covering any stormwater drainage connections | Certifying Authority |
| | Final After the building work has been completed and prior to any Occupation Certificate being issued in relation to the building | Principal Certifier |

A site sign will be sent via post today and is to be displayed on site at all times.

A copy of the approved plans and specifications, Development Consent and the Construction Certificate must be kept on-site at all times during construction.

If you require any further details please contact our office by phone (02) 9571 8433 or email admin@aedconsulting.com.au.

ADMINISTRATION

AED



Head Office: Suite 3.04, 55 Miller Street, Pyrmont NSW 2009

Southern Highlands Office: Unit 10/19 Lyell Street, Mittagong NSW 2575

Sutherland Shire Office: Level 1 Regus, Suite 20, 29 Kiara Road, Miranda NSW 2228

Phone: 02-9571 8433 Email: admin@aedconsulting.com.au

www.aedconsulting.com.au | [AED Capability Statement](#) | [AED Access Capability Statement](#) | [AED Fire Capability Statement](#)

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DATE ISSUED: 25/06/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR AE&D
ACCREDITATION NO. BPB0203

BCA Specification for 11-15 Mitchell Ave, Jannali

| | |
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| SECTION B | |
| STRUCTURE | |
| Part B1: Structural Provisions | <ul style="list-style-type: none"> Structural engineer to provide structural drawings/details and Glazing will comply with AS 1288-2006 and AS 2047-1999. Termite control will comply with AS 3660.1-2000 where any primary building elements are timber. If the building is in a flood hazard area it is required to comply with BCA clause B1.6. |
| SECTION C | |
| FIRE RESISTANCE | |
| Part C1 | |
| Fire Resistance & Stability | |
| C1.1 Type of construction required | <p>Refer to Spec C1.1 and Attachment B for Schedule of FRLs for Type A Construction. These are to be certified by the architect and structural engineer as having been met, based on the proposed design.</p> <p>Please note that specification C1.1 also requires design compliance with the following:</p> <ol style="list-style-type: none"> Where a combustible material is used as a finish or lining to a wall or roof, or sunscreen, or awning, to a building element required to have an FRL the material will be exempted or comply with the fire hazard properties prescribed under C1.10 and will not otherwise constitute an undue risk of fire spread via the façade of the building or compromise egress from the building. This includes any aluminum panels which where containing plastic strengthening elements would not be non-combustible. Fire isolated shafts are required to be enclosed at the top and bottom of the shaft with fire rated construction as per specification C1.1. This fire rating is required in two directions. The walls to fire rated shafts will achieve the fire rating from both directions i.e. from inside and outside the shaft. Roof: The roof of the building does not need an FRL, provided the roof covering is non-combustible (as per the concession in Clause 3.5 of Specification C1.1 of the BCA). Bounding construction to residential units will comply with the fire rating requirements of table 3. Floors: see clause C2.9. In addition floors require an FRL of 90/90/90 where between residential levels and 120/120/120 where between carpark levels and between carpark and residential level. |

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| <p>C1.8 Lightweight construction</p> | <p>Where it is proposed to use <i>lightweight construction</i> this will comply with Specification C1.8 if it is used in a wall system—</p> <ul style="list-style-type: none"> (i) that is required to have an FRL; or (ii) for a lift shaft, stair shaft or service shaft or an external wall bounding a public corridor including a non fire-isolated passageway or non fire-isolated ramp. <p>If lightweight construction is used for the fire-resisting covering of a steel column or the like, and if —</p> <ul style="list-style-type: none"> (i) the covering is not in continuous contact with the column, then the void will be filled solid, to a height of not less than 1.2 m above the floor to prevent indenting; and (ii) the column is liable to be damaged from the movement of vehicles, materials or equipment, then the covering will be protected by steel or other suitable material. |
| <p>C1.9 Non-combustible elements building</p> | <ul style="list-style-type: none"> • In a building required to be of Type A construction, the following building elements and their components will be non-combustible: <ul style="list-style-type: none"> - External walls and common walls, including all components incorporated in them including the façade covering, framing and insulation - The flooring and floor framing of lift pits - Non-loadbearing internal walls where they are required to be fire-resisting. • A shaft, being a lift, ventilating, pipe, garbage, or similar shaft that is not for the discharge of hot products of combustion, that is non-loadbearing, will be of non-combustible construction in a building required to be of Type A construction; • A loadbearing internal wall and a loadbearing fire wall, including those that are part of a loadbearing shaft, will comply with Specification C1.1. • The requirements of (a) and (b) do not apply to gaskets, caulking, sealants and damp-proof courses. • The following materials may be used wherever a non-combustible material is required: <ul style="list-style-type: none"> - Plasterboard. - Perforated gypsum lath with a normal paper finish. - Fibrous-plaster sheet. - Fibre-reinforced cement sheeting. - Pre-finished metal sheeting having a combustible surface finish not exceeding 1 mm thickness and where the Spread-of-Flame Index of the product is not greater than 0. - Bonded laminated materials where— <ul style="list-style-type: none"> o each lamina, including any core, is non-combustible; and o each adhesive layer does not exceed 1 mm in thickness and the total thickness of the adhesive layers does not exceed 2 mm; and o the Spread-of-Flame Index and the Smoke-Developed Index of the bonded laminated material as a whole do not exceed 0 and 3 respectively. |
| <p>C1.10 Fire hazard properties NSW C1.10 (b) Fire Hazard Properties</p> | <p>The fire hazard properties of the following linings, materials and assemblies will comply with Specification C1.10 by way of test reports / certificates provided from a <i>registered testing authority</i> (within the meaning of the BCA):</p> <ul style="list-style-type: none"> (i) Floor linings and floor coverings. |

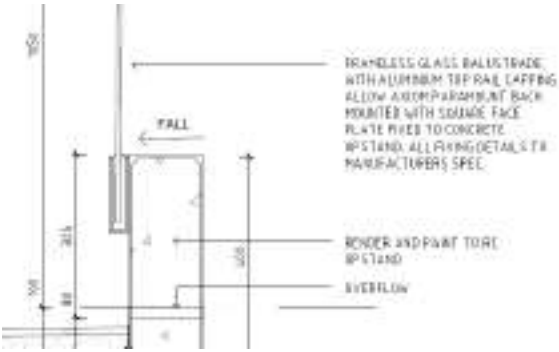
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| | <p>(ii) Wall linings and ceiling linings.</p> <p>(iii) Air-handling ductwork.</p> <p>(iv) Lift cars.</p> <p>(v) sarking-type materials</p> <p>(vi) Attachments to floors, ceilings, internal walls and the internal linings of external walls.</p> <p>(vii) Other materials including insulation materials other than sarking-type materials.</p> <p>Except that:</p> <ol style="list-style-type: none"> 1. Paint or fire-retardant coatings will not be used to achieve compliance with the required fire hazard properties; and 2. The requirements of this clause are exempted to the materials and assemblies listed under C1.10(c)(i) to (xiv) |
| <p>Part C2</p> <p>Compartmentation & Separation</p> | |
| <p>C2.6</p> <p>Vertical separation of openings in external walls</p> | <p>Separation of windows will be provided with</p> <ul style="list-style-type: none"> • a spandrel which is of non-combustible material having an FRL of not less than 60/60/60 • a slab or other horizontal construction that is non-combustible and has an FRL of not less than 60/60/60. |
| <p>C2.9</p> <p>Separation of Classifications in different storeys</p> | <p>Parts of different classifications situated one above the other in adjoining storeys will be fire separated in accordance with this clause.</p> <p>Floors separating the Basement 1 carpark and the Ground Floor residential will require an FRL of 120/120/120.</p> <p>All elements providing lateral support to this floor require an FRL of 120/120/120 as per Clause 2.2 of Specification C1.1 of the BCA).</p> |
| <p>C2.10</p> <p>Separation of lifts shafts</p> | <p>The two proposed lifts connecting more than 2 storeys will be separated from the remainder of the building by enclosure in a fire rated shaft.</p> <ul style="list-style-type: none"> • Stair shafts within the basement carpark storeys require a FRL of 120/120/120 (if loadbearing) or -/120/120 (if non-loadbearing). • Stair shafts within the residential storeys require a FRL of 90/90/90 (if loadbearing) or -/90/90 (if non-loadbearing) |
| <p>C2.12</p> <p>Separation of Equipment</p> | <p>Any lift motor rooms, lift control panels, battery rooms, boilers rooms, will be two hour fire separated as per this clause.</p> |
| <p>C2.13</p> <p>Electrical Supply</p> | <p>A main switch room housing emergency equipment which is required to operate in the emergency mode, will be fire separated from the remainder of the building in accordance with this Clause i.e. in construction achieving a FRL of not less than 120/120/120 with the access doorway provided with a self-closing fire door achieving a FRL of not less than -/120/30.</p> |



| Part C3 Protection of Openings | |
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| C3.8 Openings in fire-isolated exits | Doorways to fire stairs will be self or auto closing -/60/30 fire doors. |
| C3.9 Service penetrations in fire-isolated exits | <p>The fire isolated exits are not to be penetrated by any services other than water supply pipes for fire services OR electrical wiring associated with:</p> <ul style="list-style-type: none"> • a lighting, detection, or pressurization system serving the exit; or • a security, surveillance or management system serving the exit; or • an intercommunication system or an audible or visual alarm system in accordance with D2.22 (it is noted that re-entry from fire-isolated exits will not be required); or • the monitoring of hydrant or sprinkler isolating valves |
| C3.10 Openings in fire-isolated lift shafts | <ul style="list-style-type: none"> • Lifts landing doors are required to be fire doors with an FRL of -/60/- that comply with AS 1735.11-1986, and be set to remain closed except when discharging or receiving, passengers, goods or vehicles. • Lift indicator panels will also be fire rated in accordance with this clause. |
| C3.11 Bounding construction: Class 2 and 3 buildings and 4 parts | The doorways between sole occupancy units and the public lobbies and any common rooms and the public lobbies (class 2 parts) will be protected by self-closing -/60/30 fire doors (for Type A construction). |
| C3.12 Openings in floors and ceilings for services | Where services pass through a floor which is required to achieve a FRL or a ceiling required to have a RISF, the service will be enclosed within a fire resisting shaft or fire protected in accordance with Clause C3.15. |
| C3.13 Openings in shafts | In a building of Type A construction, an opening in a wall providing access to a ventilating, pipe, garbage or other service shaft will be fire protected in accordance with this clause. |
| C3.15 Openings for service installations | Where services pass through an element which is required to achieve a FRL (other than an external wall or roof), the service will be fire protected in accordance with this clause. |

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| <p>C3.16 Construction joints</p> | <p>Construction joints, spaces and the like in and between building elements required to be fire-resisting with respect to integrity and insulation will be protected in a manner identical with a prototype tested in accordance with AS 1530.4 to achieve the required FRL.</p> |
| <p>C3.17 Columns protected in lightweight construction to achieve an FRL</p> | <p>Any columns protected in fire rated plasterboard to be compliant with this clause.</p> |
| <p>SECTION D ACCESS & EGRESS</p> | |
| <p>Part D1 Provision for Escape</p> | |
| <p>D1.6 Dimensions of exits and paths of travel to exits</p> | <p>In a required exit or path of travel to an exit— (a) the unobstructed height throughout will be not less than 2 m, except the unobstructed height of any doorway may be reduced to not less than 1980 mm; and (b) the unobstructed width of each exit or path of travel to an exit, except for doorways, will be not less than 1 m</p> |
| <p>D1.10 Discharge from exits</p> | <p>a) An exit will not be blocked at the point of discharge and where necessary, suitable barriers will be provided to prevent vehicles from blocking the exit, or access to it. (b) If a required exit leads to an open space, the path of travel to the road will have an unobstructed width throughout of not less than— (i) the minimum width of the required exit; (ii) or 1 m, whichever is the greater. (c) If an exit discharges to open space that is at a different level than the public road to which it is connected, the path of travel to the road will be by— (i) a ramp or other incline having a gradient not steeper than 1:8 at any part, or not steeper than 1:14 if required by the Deemed-to-Satisfy Provisions of Part D3. (d) The discharge point of alternative exits will be located as far apart as practical.</p> |
| <p>D1.16 Plant Rooms and lift Motor Rooms: Concession</p> | <p>a) A ladder may be used in lieu of a stairway to provide egress from— (i) a plant room with a floor area of not more than 100 m²; or (ii) all but one point of egress from a plant room, a lift machine room or a Class 8 electricity network substation with a floor area of not more than 200 m². (b) A ladder permitted under (a)— (i) may form part of an exit provided that in the case of a fire-isolated stairway it is contained within the shaft; or (ii) may discharge within a storey in which case it will be considered as forming part of the path of travel; and (iii) for a plant room or a Class 8 electricity network substation, will comply with AS 1657; and (iv) for a lift machine room, where access is provided from within a machine room to a secondary floor, a fixed rung type ladder complying with AS 1657 may be used, provided that—</p> |

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| | <p>(A) the height between the floors is not more than 2800 mm; and</p> <p>(B) the ladder is inclined at an angle to the horizontal not less than 65 degrees nor more than 75 degrees; and</p> <p>(C) the distance between the front face of the ladder and any adjacent obstruction is not less than—</p> <p style="padding-left: 40px;">(aa) 960 mm, where the ladder is inclined 65 degrees to the horizontal; or</p> <p style="padding-left: 40px;">(bb) 760 mm, where the ladder is inclined 75 degrees to the horizontal; or</p> <p style="padding-left: 40px;">(cc) a distance that is determined by interpolating the values in (aa) and (bb), where the ladder is inclined at any angle between 65 degrees and 75 degrees to the horizontal; and</p> <p>(D) a clear space not less than 600 mm exists between the foot of the ladder and any equipment.</p> |
| <p>Part D2</p> <p>Construction of Exits</p> | |
| <p>D2.2</p> <p>Fire-Isolated stairways and ramps</p> | <p>The fire isolated stairways will be constructed of non-combustible materials and constructed so that if there is local failure it will not cause structural damage to, or impair the fire-resistance of the shaft.</p> |
| <p>D2.7</p> <p>Installations in exits and paths of travel</p> | <p>Any electricity meters, distribution boards; telecommunications distribution boards or equipment; electrical motors or other motors within corridors/hallways/lobbies or the like will be enclosed with non-combustible construction or a fire protective covering with doorways suitably sealed against smoke spread.</p> <p>Electrical wiring may be installed with a fire isolated exit, but only where associated with a lighting, detection, pressurisation, security, surveillance, intercommunication, or hydraulic fire services monitoring valves.</p> |
| <p>D2.10</p> <p>Pedestrian ramps</p> | <p>All pedestrian ramps are to have a non-slip finish complying with AS 4586-2013 Slip resistance classification of new pedestrian surface materials.</p> <p>Clause contains additional information relevant to fire isolation and access requirements applicable to pedestrian ramps.</p> |
| <p>D2.12</p> <p>Roof as Open Space</p> | <p>The roof of the carpark will achieve an FRL of 120/120/120 and not have any roof lights or other openings within 3m of the path of travel of persons using the exit to reach the road.</p> |
| <p>D2.13</p> <p>Goings and risers</p> | <p>Stairways to achieve compliance with this clause relevant to going and riser dimensions.</p> <p>Treads will have a surface with a slip-resistant classification not less than that listed in Table D2.14 when tested in accordance with AS 4586-2013 Slip resistance classification of new pedestrian surface materials.</p> <p>BCA 2016 Amendment 1 does not directly specify slip-resistance classification(s) for all accessible paths of travel; however, we highlight the need under AS 1428.1-2009 for all accessible paths of travel to have a slip-resistant surface. We recommend you should seek surface finish advice from an independent specialist slip safety consultant.</p> |
| <p>D2.14</p> <p>Landings</p> | <p>Landings will not be less than 750mm long and have a slip-resistant classification not less than that listed in Table D2.14 when tested in accordance with AS 4586-2013 Slip resistance classification of new pedestrian surface materials.</p> |

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| | <p>BCA 2016 Amendment 1 does not directly specify slip-resistance classification(s) for all <i>accessible paths of travel</i>; however, we highlight the need under AS 1428.1-2009 for all <i>accessible paths of travel</i> to have a slip-resistant surface. We recommend you should seek surface finish advice from an independent specialist slip safety consultant.</p> |
| <p>D2.15 Thresholds</p> | <p>The threshold of a doorway will not incorporate a step or ramp at any point closer to the doorway than the width of the door leaves unless the doorway is in a building required to be accessible by Part D3, and in which case the doorway opens to a road or open space and is provided with a threshold ramp or step ramp in accordance with AS 1428.1.</p> |
| <p>D2.16 Balustrades and other Barriers Note NSW D2.16</p> | <p>Balustrades will be provided to stairs and balconies, driveway ramps etc where there is a fall of more than 1m.</p> <p>Balustrades in fire-isolated stairways shall comply with D2.16 (g) and (h)(i) and all other balustrades shall comply with D2.16(g) and (h)(ii).</p> <p>Face plate fixing mechanism will not extend further than 10mm from the balustrade surface</p>  |
| <p>D2.17 Handrails</p> | <p>All stairways and ramps will be provided with a handrail as per this clause.</p> <p>A required exit serving an area required to be accessible will be designed and constructed to comply with Clause 12 of AS 1428.1, except that Clause 12(d) does not apply to a handrail required by (a)(iii)(B).</p> <p>All ramps with a gradient steeper than 1:20 or more will be provided with a handrail as per this clause, including any driveway ramps that form paths of travel to the street.</p> <p>See also clause D3.3 regarding handrail requirements to assist people with a disability.</p> |
| <p>D2.18 Fixed Platforms, walkways and ladders</p> | <p>Plant areas may be accessed via stairs and ladders compliant with AS 1657-2013.</p> |
| <p>D2.21 Operation of Latch</p> | <p>All doors in a required exit or forming part of a required exit AND doors in a path of travel to a required exit will be readily openable without a key from the side that faces a person seeking egress, by single hand downward action or pushing action on a single device which is located between 900mm and 1.1 m from the floor and if serving an area required to be accessible by Part D3 –</p> <ul style="list-style-type: none"> A. be such that the hand of a person who cannot grip will not slip from the handle during the operation of the latch; and B. have a clearance between the handle and the back plate or door face at the center grip section of the handle of not less than 35mm and not more than 45mm; or C. a single hand pushing action on a single device which is located between 900mm and 1.2m from the door. |

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| | The above requirements do not apply to doors that serve only or is within a SOU in a Class 2 building. |
| D2.23 Signs on Doors | Signs on required fire doors to alert persons that the operation of these doors is not to be impaired. Refer also to offence signage required by Clause 183 of the EP&A Regulation 2000. |
| D2.24 Protection of openable windows | The protection of openable bedroom windows in a Class 2 , 3 or 4 building, where the floor below the window is 2 m or more above the surface beneath it; AND For protection of openable windows of other classifications where the floor below the window is 4 m or more above the surface beneath it. |
| SECTION E SERVICES & EQUIPMENT | |
| Part E1 Fire Fighting Equipment | |
| E1.4 Fire hose reels | A fire hose reel system complying with AS 2441-2005 will be provided to serve the basement carpark where internal fire hydrants area installed OR where internal fire hydrants are not installed, to serve any fire compartment with a floor area greater than 500m2. |
| E1.6 Portable Fire Extinguishers | Portable fire extinguishers will be provided in accordance with Table E1.6 of the BCA and will be selected, located and distributed in accordance with Sections 1, 2, 3 and 4 of AS 2444-2001. Note: Portable fire extinguishers now required to serve Class 2 buildings to cover Class A fire risks, where: <ul style="list-style-type: none"> • Internal fire hydrants area installed; and |
| E1.9 Fire Precautions during construction | <ul style="list-style-type: none"> • During construction, not less than one portable fire extinguisher to suit Class A, B and C fires and electrical fires will be provided at all times on each storey adjacent to each required / temporary exit; and • After the building has reach an effective height of 12m, the required fire hydrants and fire hose reels will be operational on all floor / roof covered storeys, except for the 2 uppermost storeys; and • All required booster connections will be installed. |
| Part E2 Smoke Hazard Management | |
| E2.2 General Requirements (inclusive of Table E2.2a / Table E2.2b & NSW amendments) | <p><u>General smoke hazard management requirements</u></p> <p>An air-handling system which does not form part of a smoke hazard management system in accordance with Table E2.2a or Table E2.2b and which recycles air from one fire compartment to another fire compartment or operates in a manner that may unduly contribute to the spread of smoke from one fire compartment to another fire compartment (such as lobby air supply) will—</p> <p>(i) be designed and installed to operate as a smoke control system in accordance with AS/NZS 1668.1; or</p> <p>(ii)</p> <p>(A) incorporate smoke dampers where the air-handling ducts penetrate any elements separating the fire compartments served; and</p> |

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| | <p>(B) be arranged such that the air-handling system is shut down and the smoke dampers are activated to close automatically by smoke detectors complying with clause 4.10 of AS/NZS 1668.1; and for the purposes of this provision, each sole-occupancy unit in a Class 2 or 3 building is treated as a separate fire compartment.</p> <p>Miscellaneous air-handling systems covered by Sections 5 and 11 of AS/NZS 1668.1 serving more than one fire compartment (other than a carpark ventilation system) and not forming part of a smoke hazard management system will comply with that Section of the Standard.</p> <p>Note: Smoke alarms in sole occupancy units now required to be interconnected.</p> <p><u>Class 2 (residential)</u></p> <p>Class 2 part will be provided an automatic smoke detection and alarm system complying with Specification E2.2a;</p> <p><u>Class 7a buildings</u></p> <p>A Class 7a building including a basement provided with a mechanical ventilation system in accordance with AS 1668.2 will comply with clause 5.5 of AS/NZS 1668.1 except that fans with metal blades for operation at normal temperatures may be used, and the electrical power and control cabling need not be fire rated.</p> <p>Carparks are required to be provided with a smoke detection system complying with AS 1670.1 – 2015.</p> |
| <p>Part E3 Lift Installations</p> | |
| <p>E3.1 Lift installations</p> | <p>An electric passenger lift installation and an electrohydraulic passenger lift installation will comply with Specification E3.1</p> |
| <p>E3.2 Stretcher Facility in Lifts</p> | <p>Stretcher facilities in lifts are required to any building requiring an emergency lift required by E3.4, and where passenger lifts area installed to serve any storey above an effective height of 12m or more.</p> <p>A stretcher lift will accommodate a raised stretcher with a patient lying on it horizontally by providing a clear space not less than 600mm wide x 2000mm long x 1400mm high above floor level.</p> |
| <p>E3.3 Warning Against the use of lifts in Fire</p> | <p>Warning signs indicating “Do not use lifts if there is a fire” shall be displayed near every call button for a passenger lift or group of lifts throughout a building as per E3.3.</p> |
| <p>E3.5 Landings</p> | <p>Access and egress to and from lift-well landings will comply with the Deemed-to-Satisfy Provisions of Section D.</p> |
| <p>E3.6 Facilities for People with Disabilities</p> | <p>In an accessible building, every passenger lift will be one of the types specified in Table E3.6a, have accessible features in accordance with Table E3.6b, and not rely on a constant pressure device for its operation if the lift car is fully enclosed.</p> |
| <p>E3.7 Fire Service Controls</p> | <p>Lifts serving any storey above an effective height of 12m will be provided with a: fire service recall control switch complying with E3.9 (for a group of lifts or a single lift not in a group that serves the storey); and lift car fire drive control switch complying with E3.10 for every lift.</p> |
| <p>E3.9</p> | <p>Fire service recall control switch requirements will comply with this clause.</p> |

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| Fire service recall operation switch | |
| E3.10 Lift car fire service drive control switch | specific lift car fire service drive control switch requirements will comply with this clause. |
| Part E4 Emergency Lighting, Exit Signs and Warning Systems | |
| E4.4 Design and Operation of Emergency Lighting | The emergency lighting system will comply with AS 2293.1-2005. |
| E4.8 Design & Operation of Exit Signs | Exit signs will comply with: <ul style="list-style-type: none"> • AS 2293.1-2005; or • For a photoluminescent exit sign, Specification E4.8. |
| SECTION F HEALTH & AMENITY | |
| Part F1 Damp & Weatherproofing | |
| F1.1 Stormwater Drainage | Stormwater drainage will comply with AS/NZS 3500.3-2015. |
| F1.4 External above ground membranes | Any external above ground membranes will be waterproofed as per AS 4654 Parts 1 and 2-2012. |
| F1.5 Roof coverings | A roof will be covered with metal sheet roofing complying with AS 1562.1. |
| F1.6 Sarking | Sarking-type materials used for weatherproofing will comply with AS/NZS 4200 Part 1 and 2-1994. |
| F1.7 Waterproofing of wet area | Wet areas will be waterproofed in accordance with AS 3740-2010 and F1.7 of the BCA. |
| F1.9 Damp-proofing | Where a damp-proof course is required, it will consist of a material that complies with AS/NZS 2904-1995; or impervious sheet material in accordance with AS 3660.1-2000 |
| F1.10 Damp-proofing of floors on the ground | If a floor of a room is laid on the ground or on fill, moisture from the ground will be prevented from reaching the upper surface of the floor and adjacent walls by the insertion of a vapour barrier in accordance with AS 2870-2011 (N/A to areas that do not require weatherproofing – refer specific clause exemptions). |
| F1.11 | Bathrooms and laundries in Class 2 building will be provided with a floor waste, and the floor of such areas will be graded to such floor waste. |

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| Provision of Floor Wastes | | |
| F1.13 Glazed Assemblies | glazed assemblies within external walls in accordance with AS 2047-1999. | |
| Part F2 Sanitary & Other Facilities | | |
| Part F3 Room Sizes | | |
| F3.1 Height of Rooms and other spaces | X | <p>The ceiling height will be not less than—</p> <p>(a) in a Class 2—</p> <p>(i) a kitchen, laundry, or the like — 2.1 m;</p> <p>(ii) and a corridor, passageway or the like — 2.1 m; and</p> <p>(iii) a habitable room excluding a kitchen — 2.4 m; and</p> <p>(iv) in a room or space with a sloping ceiling or projections below the ceiling line within -</p> <p>(A) a habitable room—</p> <p>(aa) in an attic — a height of not less than 2.2 m for not less than two thirds of the floor area of the room or space; and</p> <p>(bb) in other rooms — a height of not less than 2.4 m for not less than two thirds of the floor area of the room or space; and</p> <p>(B) a non-habitable room — a height of not less than 2.1 m for not less than two thirds of the floor area of the room or space; and when calculating the floor area of a room or space, any part that has a ceiling height of less than 1.5 m is not included; and</p> <p>(b) in a Class 7 buildings—</p> <p>(i) except as allowed in (ii) and (f) — 2.4 m; and</p> <p>(ii) a corridor, passageway, or the like — 2.1 m; and</p> |
| Part F4 Light & Ventilation | | |
| F4.1 Provision of natural light | Natural lighting will be provided to all habitable rooms in Class 2 buildings. | |
| F4.2 Methods and extent of natural lighting | <p>Required natural lighting will be provided by—</p> <p>(i) windows, excluding roof lights, that—</p> <p>(A) have an aggregate light transmitting area measured exclusive of framing members, glazing bars or other obstructions of not less than 10% of the floor area of the room; and</p> <p>(B) are open to the sky or face a court or other space open to the sky or an open verandah, carport or the like; or</p> <p>(ii) roof lights, that—</p> | |


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| | <p>(A) have an aggregate light transmitting area measured exclusive of framing members, glazing bars or other obstructions of not less than 3% of the floor area of the room; and</p> <p>(B) are open to the sky; or</p> <p>(iii) a proportional combination of windows and roof lights required by (i) and (ii).</p> |
| F4.4 Artificial lighting | Artificial lighting in accordance with AS/NZS 1680.0-2009 to specific building areas. |
| F4.5 Ventilation of Rooms | All rooms to be provided with Clause F4.6 compliant natural ventilation OR a mechanical ventilation or air-conditioning system complying with AS 1668.2-2012. |
| F4.6 Natural Ventilation | <p>(a) Natural ventilation provided in accordance with F4.5(a) will consist of permanent openings, windows, doors or other devices which can be opened—</p> <p>(i) with ventilating area not less than 5% of the floor area of the room required to be ventilated; and</p> <p>(ii) open to—</p> <p>(A) a suitably sized court, or space open to the sky; or</p> <p>(B) an open verandah, carport, or the like; or</p> <p>(C) an adjoining room in accordance with F4.7.</p> |
| F1.11 Carparks | <p>Every storey of a carpark will have:</p> <ul style="list-style-type: none"> • a system of mechanical ventilation complying with AS1668.2-2012; or • a system of natural ventilation complying with Section 4 of AS 1668.4-2012. |
| <p>Part F5 Sound Transmission</p> | |
| F5.2 Determination of airborne sound insulation ratings | <p>A form of construction required to have an airborne sound insulation rating will—</p> <p>(a) have the required value for weighted sound reduction index (R_w) or weighted sound reduction index with spectrum adaptation term ($R_w + C_{tr}$) determined in accordance with AS/NZS 1276.1 or ISO 717.1 using results from laboratory measurements; or</p> <p>(b) comply with Specification F5.2.</p> |
| F5.3 Determination of impact sound insulation ratings | <p>(a) A floor in a building required to have an impact sound insulation rating will—</p> <p>(i) have the required value for weighted normalised impact sound pressure level ($L_{n,w}$) determined in accordance with AS/ISO 717.2 using results from laboratory measurements; or</p> <p>(ii) comply with Specification F5.2.</p> <p>(b) A wall in a building required to have an impact sound insulation rating will—</p> <p>(i) for a Class 2 or 3 building be of discontinuous construction; and</p> |
| F5.4 Sound Insulation of floors between units | <p>A floor in a Class 2 or 3 building will achieve an $R_w + C_{tr}$ (airborne) not less than 50, and an $L_{n,w}$ (impact) not more than 62, if separating:</p> <ul style="list-style-type: none"> • SOU's; or • An SOU from a plant room, lift shaft, public corridor, public lobby or parts of a different classification. |

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| | <ul style="list-style-type: none"> A floor in a Class 9c aged care building separating SOU's will achieve an R_w not less than 50. |
| <p>F5.5</p> <p>Sound insulation of walls between units</p> | <p>(a) A wall in a Class 2 or 3 building will—</p> <p>(i) have an $R_w + C_{tr}$ (airborne) not less than 50, if it separates sole-occupancy units; and</p> <p>(ii) have an R_w (airborne) not less than 50, if it separates a sole-occupancy unit from a plant room, lift shaft, stairway, public corridor, public lobby or the like, or parts of a different classification; and</p> <p>(iii) comply with F5.3(b) if it separates—</p> <p>(A) a bathroom, sanitary compartment, laundry or kitchen in one sole-occupancy unit from a habitable room (other than a kitchen) in an adjoining unit; or</p> <p>(B) a sole-occupancy unit from a plant room or lift shaft.</p> <p>(b) A door may be incorporated in a wall in a Class 2 or 3 building that separates a sole occupancy unit from a stairway, public corridor, public lobby or the like, provided the door assembly has an R_w not less than 30.</p> <p>(c) A wall in a Class 9c aged care building will have an R_w not less than 45 if it separates—</p> <p>(i) sole-occupancy units; or</p> <p>(ii) a sole-occupancy unit from a kitchen, bathroom, sanitary compartment (not being an associated ensuite), laundry, plant room or utilities room.</p> <p>(e) Where a wall required to have sound insulation has a floor above, the wall will continue to—</p> <p>(i) the underside of the floor above; or</p> <p>(ii) a ceiling that provides the sound insulation required for the wall.</p> <p>(f) Where a wall required to have sound insulation has a roof above, the wall will continue to—</p> <p>(i) the underside of the roof above; or</p> <p>(ii) a ceiling that provides the sound insulation required for the wall.</p> |
| <p>F5.6</p> <p>Sound insulation rating of services</p> | <p>Ducts and pipes will achieve an $R_w + C_{tr}$ (airborne) of no less than 40 if the adjacent room is habitable or 25 if non-habitable.</p> |
| <p>F5.7</p> <p>Sound isolation of pumps</p> | <p>X</p> <p>A flexible coupling will be used at the point of connection between the service pipes in a building and any circulating pump.</p> |
| <p>SECTION G</p> <p>ANCILLIARY PROVISIONS</p> | |
| <p>Part G1</p> <p>Minor Structures and Components</p> | |
| <p>NSW G1.101</p> <p>Provision for cleaning windows</p> | <p>A safe manner for cleaning of windows located 3 or more storeys above ground level will be provided, and compliance is achieved where:</p> <ul style="list-style-type: none"> The windows can be cleaned wholly from within the building; or Via a method complying with the Work Health and Safety Act 2011 and regulations made under that Act. |

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| SECTION J | |
| ENERGY EFFICIENCY | |
| NSW SECTION J | |
| ENERGY EFFICIENCY | |
| NSW SUBSECTION J(A) ENERGY EFFICIENCY - CLASS 2 BUILDINGS AND CLASS 4 PARTS | The requirements of the BASIX Certificate will be incorporated into the design. |
| NSW J(A)1 BUILDING FABRIC | |
| NSW J(A)1.1 Application of Part | Part J(A)1 is only applicable to Class 2 buildings, and Class 4 parts of a building, where a development consent or complying development certificate specifies that thermal insulation is to be provided as part of the development. |
| NSW J(A)1.2 Compliance with BCA provisions | Class 2 buildings and Class 4 parts of buildings, will comply with the National Provisions of J0.2(b) to (e) i.e.: (b) for general thermal construction, comply with J1.2; and (c) for thermal breaks, comply with J1.3(d) and J1.5(c); and (d) for compensating for a loss of ceiling insulation, comply with J1.3(c); and (e) for floor edge insulation, comply with J1.6(c) and J1.6(d); and |
| NSW J(A)2 BUILDING SEALING | |
| NSW J(A)2.1 Application of Part | The requirements of this Part are applicable to Class 2 buildings and Class 4 parts of buildings, excluding: <ul style="list-style-type: none"> • A building in a climate zones 2 and 5 where the only means of air-conditioning is by using an evaporative cooler; • A building ventilation opening necessary for the safe operation of a gas appliance; • parts of the building that cannot be fully enclosed. |
| NSW J(A)2.2 Compliance with BCA Provisions | Class 2 buildings and Class 4 parts of buildings, will comply with the following National Provisions: <ul style="list-style-type: none"> (a) J3.2 Chimneys and flues; (b) J3.3 Roof lights; (c) J3.4 External doors and windows; (d) J3.5 Exhaust fans; (e) J3.6 Construction of roofs walls and floors; and (f) J3.7 Evaporative coolers. |
| NSW J(A)3 AIR CONDITIONING AND VENTILATING SYSTEMS | |
| NSW J(A) 3.2 Compliance with BCA Provisions | Class 2 buildings and Class 4 part of a building will comply with the following national BCA provisions (as applicable): <ul style="list-style-type: none"> (a) J5.2 (a) to (d) and (f) to (g) Air conditioning systems; and (b) J5.3 Mechanical ventilation systems; and (c) J5.4 Miscellaneous exhaust systems. |

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| | Note: Compliance is not required with the national BCA provisions of J5.2(e) as those matters are regulated under BASIX. |
| NSW J(A)4 HOT WATER SUPPLY | |
| NSW J(A)4.2 Compliance with BCA Provisions | A Class 2 building and Class 4 part of a building will comply with the following National BCA provisions of Clause J7.2. Note: Compliance is not required with the national BCA provisions of J7.3 and J7.4 as those matters are regulated under BASIX. |
| NSW J(A)5 ACCESS FOR MAINTENANCE | |
| NSW J(A)5.3 Compliance with BCA provisions | Class 2 buildings will comply with the national BCA provisions of J8.3 |

BASEMENT B2 CONCRETE OUTLINE PLAN - 100 SLAB ON GROUND U.N.O.
1 : 100

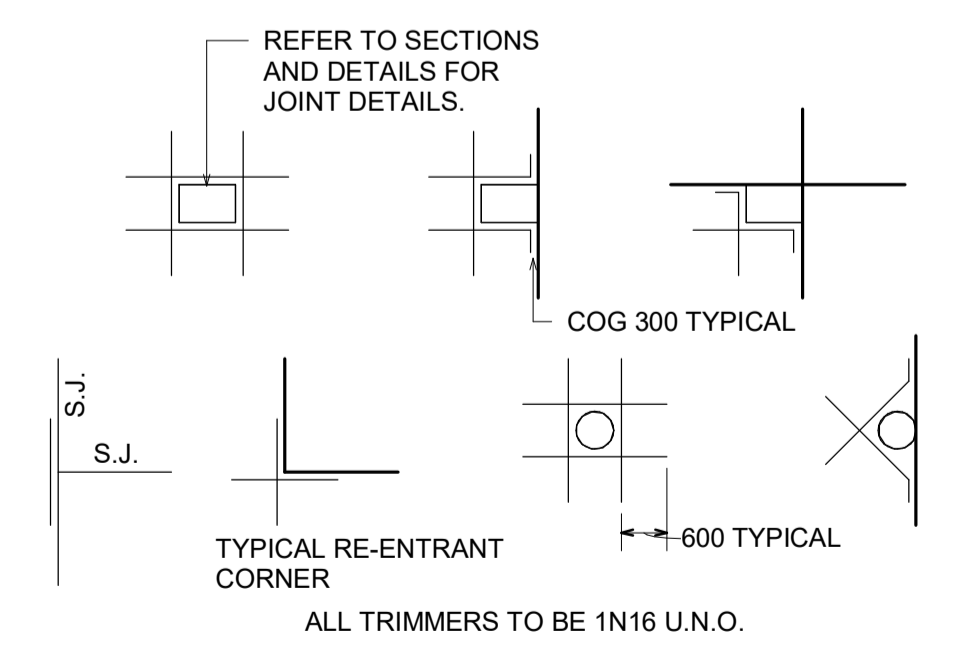
1. SLABS ON GROUND TO BE CAST ON 0.2mm THICK HIGH IMPACT RESISTANCE FILM TO AS/NZS 4347 OVER A 50mm SAND BED / OR 100mm FREE DRAINING BASE COURSE
2. REINFORCE SLABS ON GROUND WITH 1 LAYER OF SL82 FABRIC TOP THROUGHOUT 30 COVER.
3. CONCRETE OUTLINES, LEVELS, SETDOWNS, REBATES, FALLS & PENETRATIONS TO ARCHITECTS DETAILS.
4. REFER TO HYDRAULIC ENGINEER'S DETAILS FOR ALL SUB SOIL DRAINAGE, SUMPS, PITS AND GRATED DRAINS U.N.O.
5.  CROSS-HATCHING DENOTES 120 THICK DRIVEWAY RAMP WITH 300 x 300 THICKENED EDGES CAST ON 0.2mm THICK HIGH IMPACT RESISTANCE FILM TO AS/NZS 4347 OVER 100 BASECOURSE BLINDED WITH SAND. PROVIDE SL82 FABRIC TOP (40mm COVER).
6. THE BASEMENT IS DESIGNED AS A DRAINED BASEMENT WITH PERMANENT SUB-FLOOR DRAINAGE CONNECTED TO A SUMP AND PUMP DEWATERING SYSTEM TO HYDRAULIC ENGINEERS DESIGN. REFER TO GEOTECHNICAL REPORT FROM JK GEOTECHNICS GEOTECHNICAL & ENVIRONMENTAL ENGINEERS DATED 21st OF MARCH 2017.
7. PROVIDE KEYED JOINTS (K.J.) OR DOWELLED EXPANSION JOINTS (D.E.J.) AT ALL CONSTRUCTION JOINTS.
8. ALL SERVICES CAST INTO SLAB MUST BE APPROVED BY XAVIER KNIGHT PRIOR TO CONSTRUCTION.
9. RW1 DENOTES 200mm THICK DINCEL RETAINING WALL. REFER TO DRAWING S0211 FOR DETAILS.



DATE ISSUED: 10/05/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

**TRENTON JONES FOR AE&D
ACCREDITATION NO. BPB0203**



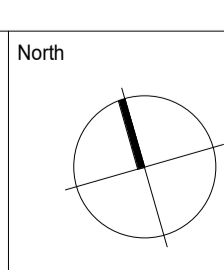
TYPICAL SLAB ON GROUND TRIMMER DETAILS
AT ALL COLUMNS, WALLS, PITS, FLOOR WASTES, ETC THAT CAUSE A PENETRATION THROUGH THE SLAB.

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|-------------------|--------------------------------------|-----------|----------|
| 4 | REVISED FOR CONSTRUCTION CERTIFICATE | J.H. A.A. | 30.04.19 |
| 3 | ISSUED FOR CONSTRUCTION CERTIFICATE | M.A. A.A. | 15.03.19 |
| 2 | ISSUED FOR CO-ORDINATION | M.A. A.A. | 22.02.19 |
| 1 | ISSUED FOR INFORMATION | M.A. A.A. | 13.02.19 |
| Rev | Description | Eng | Draft |
| Page 1121 of 1510 | | | |

Architect
PBD ARCHITECTS

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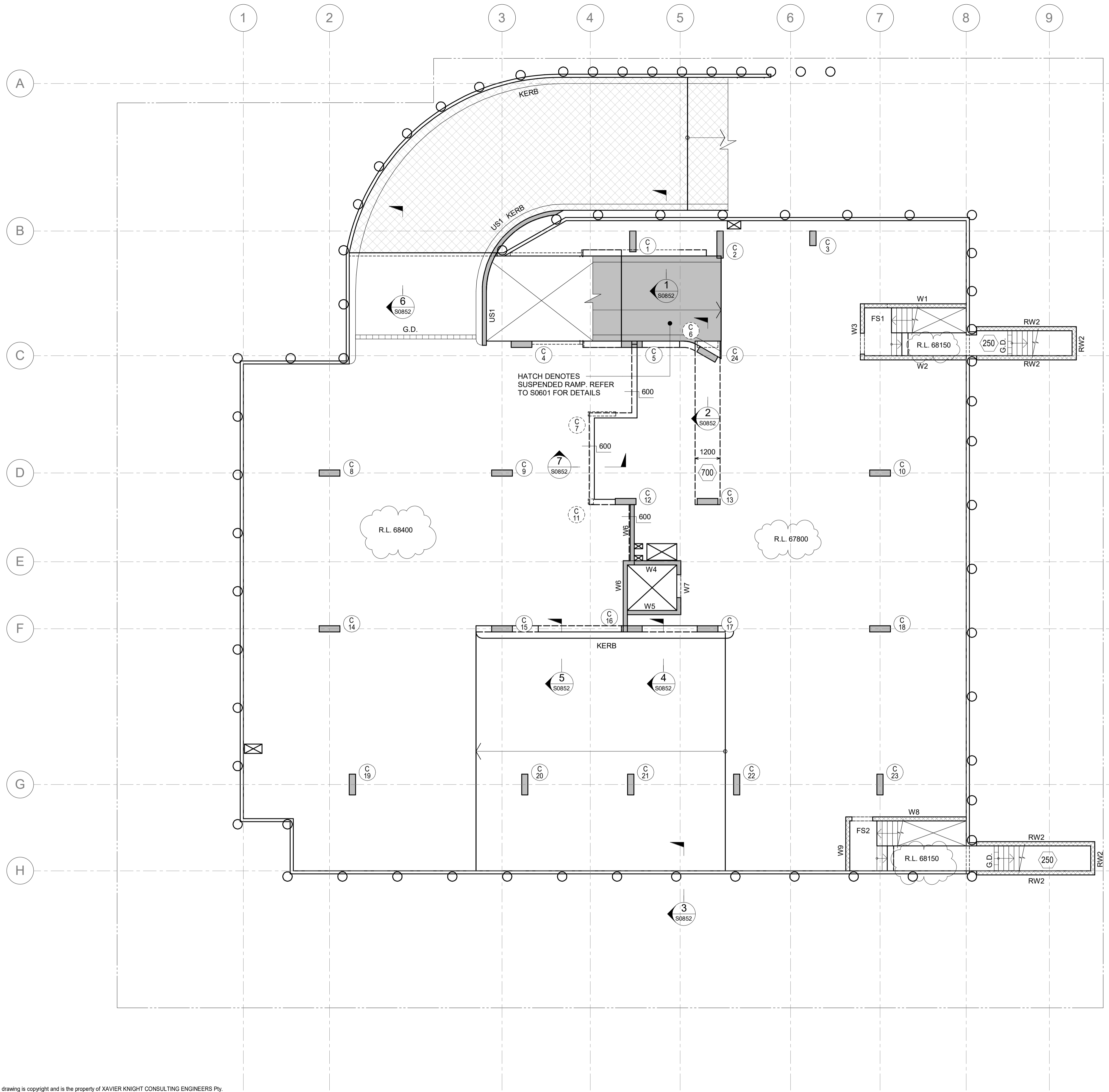
Project
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVE JANNALI

Sheet Subject
BASEMENT LEVEL B2 CONCRETE OUTLINE PLAN

| | | |
|-------------------------------------|---------------------|----------------|
| Scale at A1 As indicated | Drawn AA | Approved JH |
| Job No 181026 | Drawing No S0701 | Revision 4 |
| Harper Building Consultants Pty Ltd | | |

BASEMENT B1 CONCRETE OUTLINE PLAN - 250 SUSPENDED SLAB U.N.O.

- 1:100
1. CONCRETE OUTLINES, LEVELS, SETDOWNS, REBATES, FALLS & PENETRATIONS TO ARCHITECTS DETAILS.
 2. CHAMFER, FILLET AND DRIP GROOVES TO ARCHITECT DETAILS AND TO BUILDER REQUIREMENTS.
 3. REFER TO HYDRAULIC ENGINEER'S DRAWINGS FOR SUMPS, PITS AND GRATED DRAINS.
 4. ALL EXTERNAL & WET AREAS TO BE WATERPROOFED & INSULATED IN ACCORDANCE WITH THE ARCHITECTURAL SPECIFICATIONS
 5. ALL FALLS IN EXTERNAL & WET AREAS TO BE MADE IN THE TOP OF STRUCTURAL SLAB TO HYDRAULIC OUTLETS. SOFFIT LAID FLAT. ENSURE MINIMUM CONCRETE THICKNESS ARE MAINTAINED.
 6. THE SOFFIT AND TOP OF STRUCTURAL SLABS ARE LAID TO FALLS. MAINTAIN MIN CONCRETE THICKNESS.
 7. NO MASONRY WALLS ARE TO BE CONSTRUCTED ON SUSPENDED LEVELS UNTIL THE SLAB PROPPING HAS BEEN REMOVED AND THE SLAB HAS ABSORBED ITS DEAD LOAD DEFLECTION. DO NOT REMOVE SLAB PROPPING UNLESS APPROVED BY THE ENGINEER.
 8. RW2 DENOTES 200 DINCEL WALL. RETAINING WALL. REFER TO DRAWING S0852 FOR DETAILS.
 9. DW1 DENOTES 200 DINCEL WALL. REFER TO DRAWING Sxxx FOR DETAILS.
 10. US1 DENOTES 200 INSITU UPSTAND WALL. REFER TO DRAWING S0851 FOR DETAILS.



CONSTRUCTION CERTIFICATE NO. BCA / Certifiers
8899-01-2019-CC

DATE ISSUED: 10/05/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR AE&D
ACCREDITATION NO. BPP0203

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| Rev | Description | Eng | Draft | Date |
|-----|--------------------------------------|------|-------|----------|
| 4 | REVISED FOR CONSTRUCTION CERTIFICATE | J.H. | A.A. | 30.04.19 |
| 3 | ISSUED FOR CONSTRUCTION CERTIFICATE | M.A. | A.A. | 15.03.19 |
| 2 | ISSUED FOR CO-ORDINATION | M.A. | A.A. | 22.02.19 |
| 1 | ISSUED FOR INFORMATION | M.A. | A.A. | 13.02.19 |

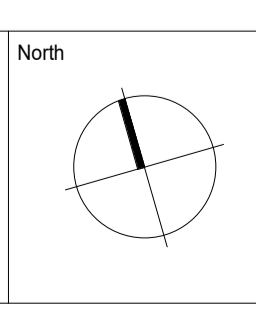
Page 1122 of 1610

Architect
PBD ARCHITECTS

Structural and Civil Engineer

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Project
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVE JANNALI

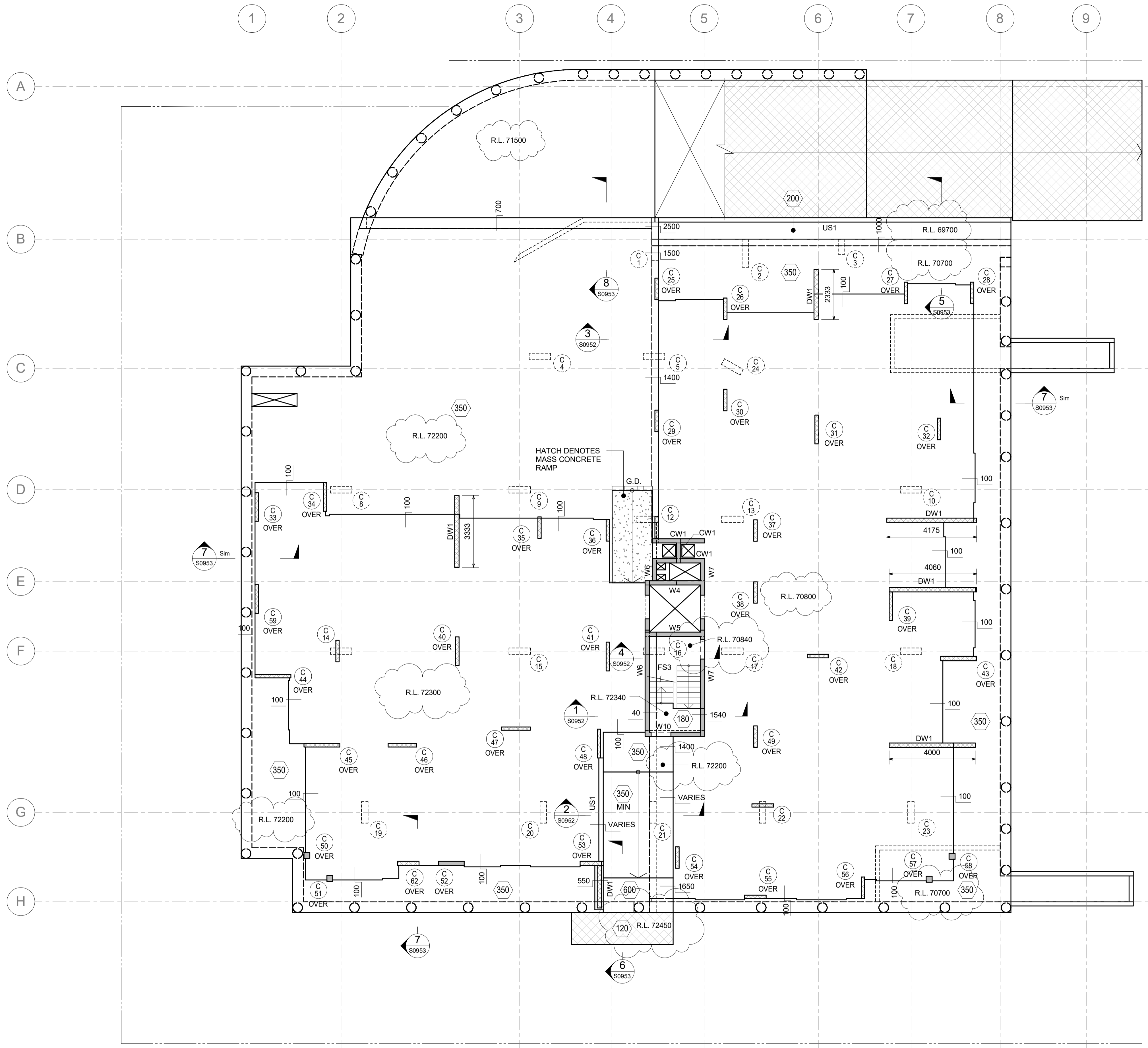
Sheet Subject
BASEMENT LEVEL B1 CONCRETE OUTLINE PLAN

| Scale at A1 | Drawn | Approved |
|-------------|------------|----------|
| 1:100 | AA | JH |
| Job No | Drawing No | Revision |
| 181026 | S0801 | 4 |

Harper Building Consultants Pty Ltd

GROUND FLOOR CONCRETE OUTLINE PLAN - 450 THICK SLAB U.N.O.
1: 100

1. CONCRETE OUTLINES, LEVELS, SETDOWNS, REBATES, FALLS & PENETRATIONS TO ARCHITECTS DETAILS.
2. CHAMFER, FILLET AND DRIP GROOVES TO ARCHITECT DETAILS AND TO BUILDER REQUIREMENTS.
3. REFER TO HYDRAULIC ENGINEER'S DRAWINGS FOR SUMPS, PITS AND GRATED DRAINS.
4. ALL EXTERNAL & WET AREAS TO BE WATERPROOFED & INSULATED IN ACCORDANCE WITH THE ARCHITECTURAL SPECIFICATIONS.
5. ALL FALLS IN EXTERNAL & WET AREAS TO BE MADE IN THE TOP OF STRUCTURAL SLAB TO HYDRAULIC OUTLETS. SOFFIT LAID FLAT. ENSURE MINIMUM CONCRETE THICKNESS ARE MAINTAINED.
6. THE SOFFIT AND TOP OF STRUCTURAL SLABS ARE LAID TO FALLS. MAINTAIN MIN CONCRETE THICKNESS. NO MASONRY WALLS ARE TO BE CONSTRUCTED ON SUSPENDED LEVELS UNTIL THE SLAB PROPPING HAS BEEN REMOVED AND THE SLAB HAS ABSORBED ITS DEAD LOAD DEFLECTION. DO NOT REMOVE SLAB PROPPING UNLESS APPROVED BY THE ENGINEER.
7. POST TENSIONING AND REINFORCEMENT IN SLABS, BANDS BEAMS & SLAB FOLDS TO BE DESIGNED AND CERTIFIED BY THE POST TENSIONING SUBCONTRACTOR TO MEET XAVIER KNIGHT CONSULTING ENGINEERS POST TENSIONING BRIEF.
8. □ DENOTES SERVICE ZONE ALLOCATION IN SLAB. POST TENSIONING CONTRACTOR TO CO-ORDINATE PROFILES AS REQUIRED.
9. THE POST TENSIONING CONTRACTOR MUST NOT DESIGN FOR LIVE END ANCHORS IN EXPOSED SLAB & EDGES UNLESS APPROVED BY XAVIER KNIGHT.
10. A ROOF SAFETY ACCESS SYSTEM WHICH COMPLIES WITH THE RELEVANT OH & S REGULATIONS FOR FALL ARREST AND THE RELEVANT AUSTRALIAN STANDARDS IS TO BE INSTALLED AND CERTIFIED BY AN APPROPRIATELY EXPERIENCED SPECIALIST SUPPLIER. THE DESIGN BY THE SPECIALIST IS TO INCLUDE SYSTEM SELECTION, LAYOUT, INSTALLATION, FLASHING, STRENGTHENING WORKS AND CERTIFICATION.
11. DW1 DENOTES 200 DINCEL WALL. REFER TO DRAWING S0412 FOR DETAILS.
12. US1 DENOTES 200 UPSTAND WALL. REFER TO DRAWING S0951 FOR DETAILS.



CONSTRUCTION CERTIFICATE NO. 8899-01-2019-CC

DATE ISSUED: 10/05/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

**TRENTON JONES FOR AE&D
ACCREDITATION NO. BPP0203**

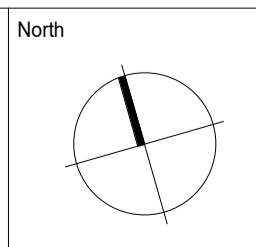
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| A1 | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 |
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|-----|--------------------------------------|-----------|----------|------|
| 4 | REVISED FOR CONSTRUCTION CERTIFICATE | J.H. A.A. | 30.04.19 | |
| 3 | ISSUED FOR CONSTRUCTION CERTIFICATE | M.A. A.A. | 15.03.19 | |
| 2 | ISSUED FOR CO-ORDINATION | M.A. A.A. | 22.02.19 | |
| 1 | ISSUED FOR INFORMATION | M.A. A.A. | 13.02.19 | |
| Rev | Description | Eng | Draft | Date |

Architect
PBD ARCHITECTS

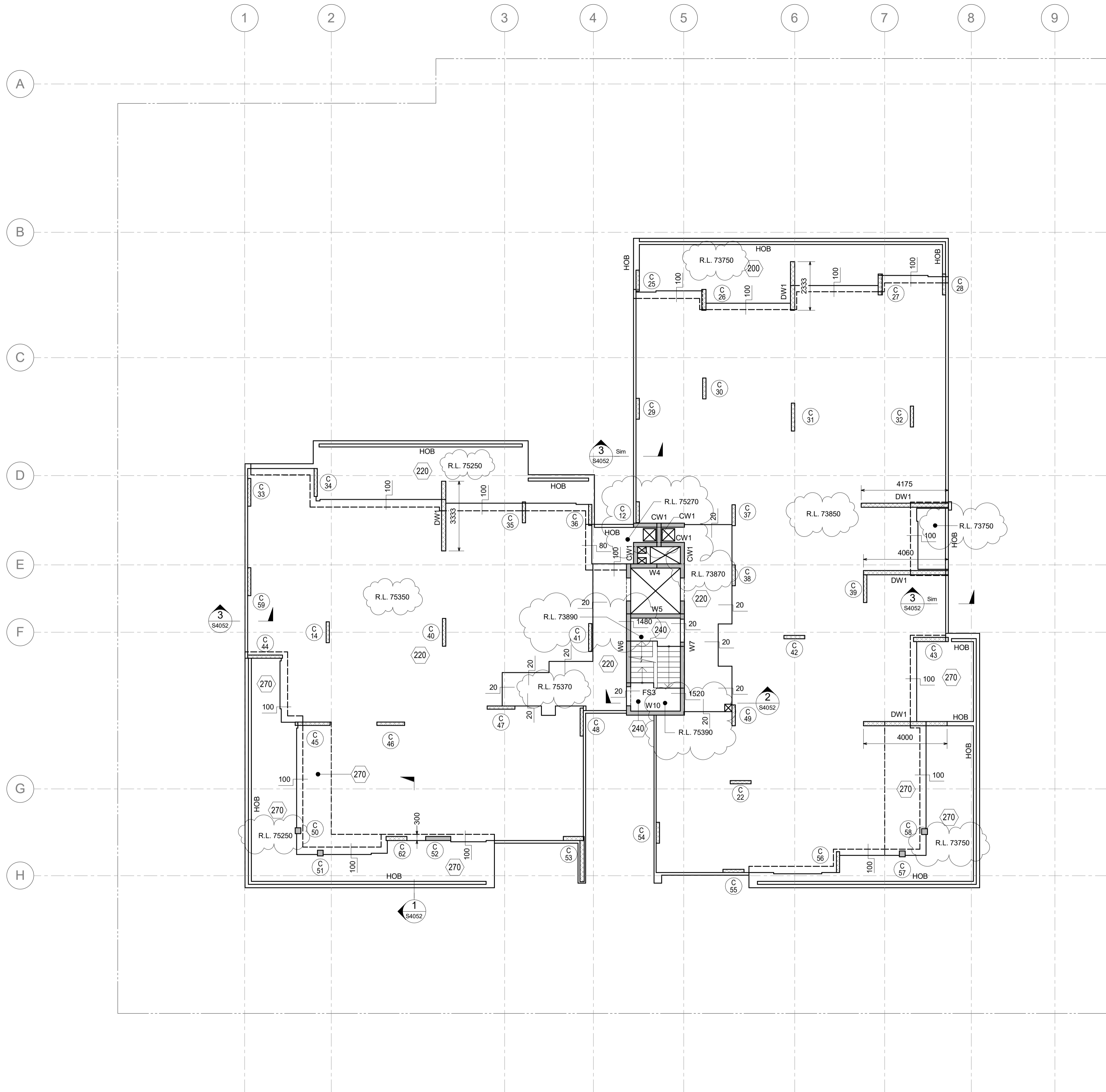
Structural and Civil Engineer
XAVIER KNIGHT
XAVIER KNIGHT CONSULTING ENGINEERS PTY. LTD. | STRUCTURAL + CIVIL
T: 02 8810 5800 E: info@xavierknight.com.au W: xavierknight.com.au
A: Level 2, 2/90 Phillip Street, Parramatta NSW 2150 ACN: 159 048 441



Project
**PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVE JANNALI**

Sheet Subject
GROUND FLOOR CONCRETE OUTLINE PLAN

| | | |
|-------------|------------|----------|
| Scale at A1 | Drawn | Approved |
| 1: 100 | AA | JH |
| Job No | Drawing No | Revision |
| 181026 | S0901 | 4 |



LEVEL 1 CONCRETE OUTLINE PLAN - 200 THICK SLAB U.N.O.
1:100

1. CONCRETE OUTLINES, LEVELS, SETDOWNS, REBATES, FALLS & PENETRATIONS TO ARCHITECTS DETAILS.
2. CHAMFER, FILLET AND DRIP GROOVES TO ARCHITECT DETAILS AND TO BUILDER REQUIREMENTS.
3. REFER TO HYDRAULIC ENGINEER'S DRAWINGS FOR SUMPS, PITS AND GRATED DRAINS.
4. ALL EXTERNAL & WET AREAS TO BE WATERPROOFED & INSULATED IN ACCORDANCE WITH THE ARCHITECTURAL SPECIFICATIONS.
5. ALL FALLS IN EXTERNAL & WET AREAS TO BE MADE IN THE TOP OF STRUCTURAL SLAB TO HYDRAULIC OUTLETS. SOFFIT LAID FLAT. ENSURE MINIMUM CONCRETE THICKNESS ARE MAINTAINED.
6. THE SOFFIT AND TOP OF STRUCTURAL SLABS ARE LAID TO FALLS. MAINTAIN MIN CONCRETE THICKNESS.
7. NO MASONRY WALLS ARE TO BE CONSTRUCTED ON SUSPENDED LEVELS UNTIL THE SLAB PROPPING HAS BEEN REMOVED AND THE SLAB HAS ABSORBED ITS DEAD LOAD DEFLECTION. DO NOT REMOVE SLAB PROPPING UNLESS APPROVED BY THE ENGINEER.
8. DW1 DENOTES 200 DINGEL WALL. REFER TO DRAWING S0412 FOR DETAILS.

CONSTRUCTION CERTIFICATE NO.
8899-01-2019-CC

DATE ISSUED: 10/05/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR AE&D
ACCREDITATION NO. BFB0203

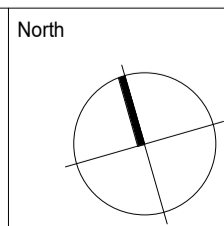
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| 3 | ISSUED FOR CONSTRUCTION CERTIFICATE | M.A. | A.A. | 18.03.19 |
| 2 | ISSUED FOR CO-ORDINATION | M.A. | A.A. | 22.02.19 |
| 1 | ISSUED FOR INFORMATION | M.A. | A.A. | 13.02.19 |

Architect
PBD ARCHITECTS

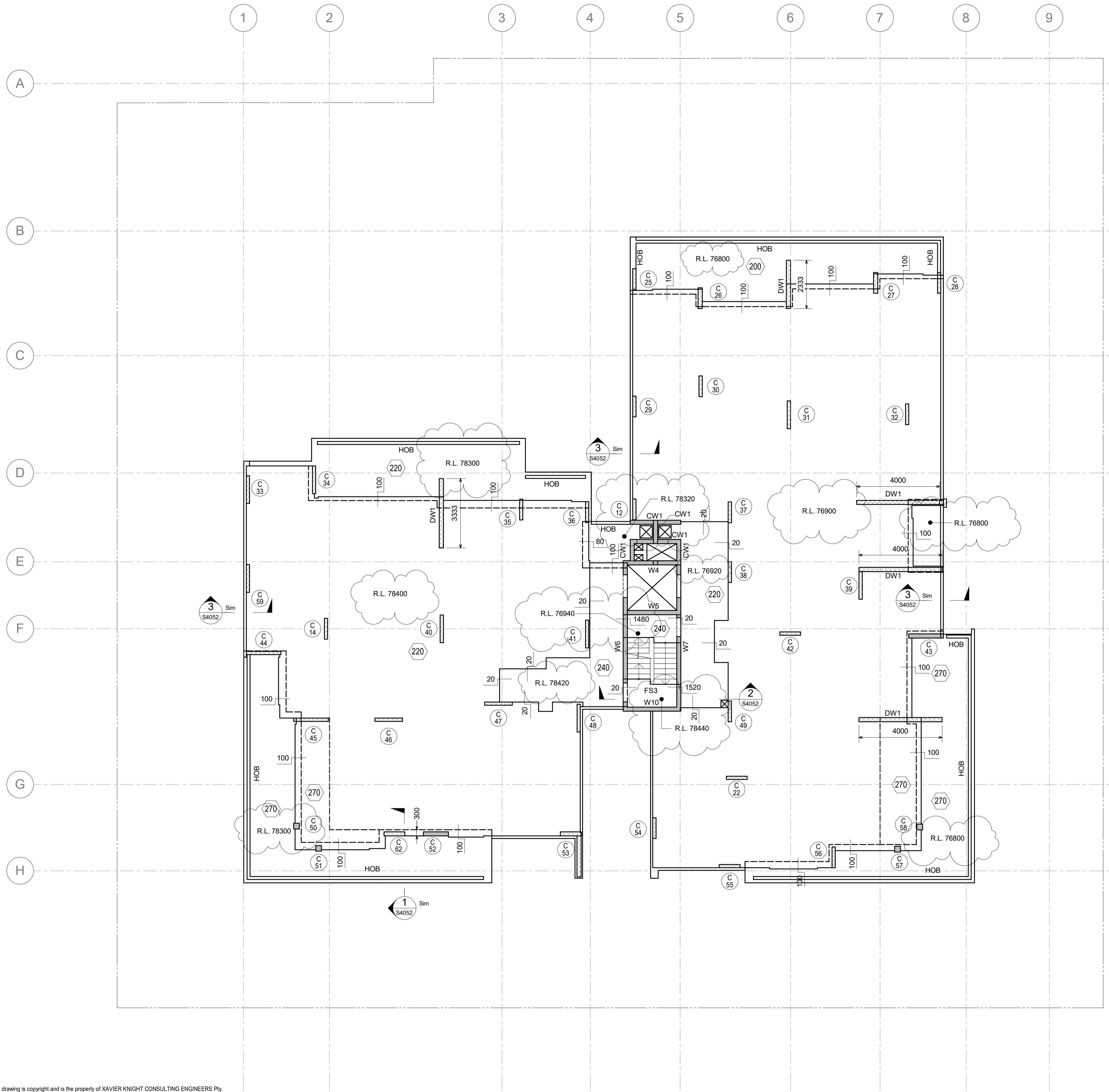
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Project
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVE JANNALI

Sheet Subject
LEVEL 1 CONCRETE OUTLINE PLAN

| Scale at A1 | Drawn | Approved |
|-------------|------------|----------|
| 1:100 | AA | JH |
| Job No | Drawing No | Revision |
| 181026 | S1001 | 4 |



LEVEL 2 CONCRETE OUTLINE PLAN - 200 THICK SLAB U.N.O.

- 1:100
1. CONCRETE OUTLINES, LEVELS, SETDOWNS, REBATES, FALLS & PENETRATIONS TO ARCHITECTS DETAILS.
 2. CHAMFER, FILLET AND DRIP GROOVES TO ARCHITECT DETAILS AND TO BUILDER REQUIREMENTS.
 3. REFER TO HYDRAULIC ENGINEER'S DRAWINGS FOR SUMPS, PITS AND GRATED DRAINS.
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 5. ALL FALLS IN EXTERNAL & WET AREAS TO BE MADE IN THE TOP OF STRUCTURAL SLAB TO HYDRAULIC OUTLETS. SOFFIT LAID FLAT. ENSURE MINIMUM CONCRETE THICKNESS ARE MAINTAINED.
 6. THE SOFFIT AND TOP OF STRUCTURAL SLABS ARE LAID TO FALLS. MAINTAIN MIN CONCRETE THICKNESS.
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 8. DW1 DENOTES 200 DINCEL WALL. REFER TO DRAWING S0412 FOR DETAILS.

CONSTRUCTION CERTIFICATE NO. 8899-01-2019-CC
DATE ISSUED: 10/05/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR AE&D
 ACCREDITATION NO. BPB0203

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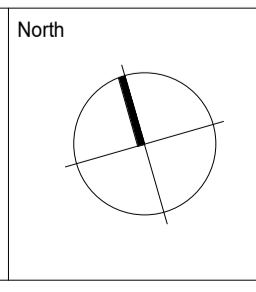


| Rev | Description | Eng | Draft | Date |
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| 4 | REVISED FOR CONSTRUCTION CERTIFICATE | J.H. | A.A. | 30.04.19 |
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| 2 | ISSUED FOR CO-ORDINATION | M.A. | A.A. | 22.02.19 |
| 1 | ISSUED FOR INFORMATION | M.A. | A.A. | 13.02.19 |

Architect
PBD ARCHITECTS

Structural and Civil Engineer
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Project
PROPOSED RESIDENTIAL DEVELOPMENT
 11-15 MITCHELL AVE JANNALI



Scale at A1
 1:100

Drawn
 AA

Approved
 JH

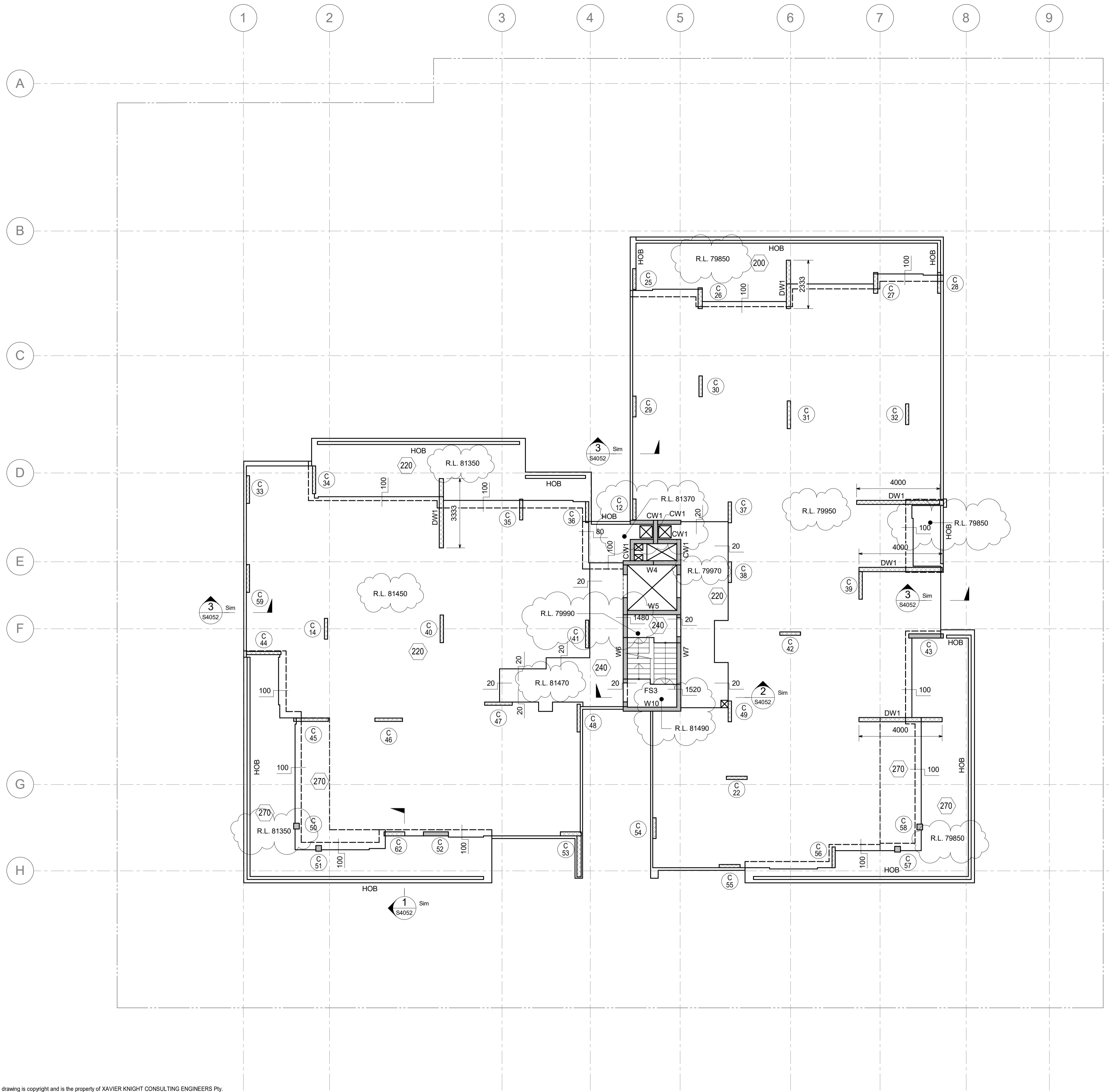
Sheet Subject
LEVEL 2 CONCRETE OUTLINE PLAN

Job No
181026

Drawing No
S2001

Revision
4

Harper Building Consultants Pty Ltd



LEVEL 3 CONCRETE OUTLINE PLAN - 200 THICK SLAB U.N.O.

- 1: 100
1. CONCRETE OUTLINES, LEVELS, SETDOWNS, REBATES, FALLS & PENETRATIONS TO ARCHITECTS DETAILS.
 2. CHAMFER, FILLET AND DRIP GROOVES TO ARCHITECT DETAILS AND TO BUILDER REQUIREMENTS.
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 8. DW1 DENOTES 200 DINCEL WALL. REFER TO DRAWING S0412 FOR DETAILS.

CONSTRUCTION CERTIFICATE NO. BCA / Certifiers
8899-01-2019-CC

DATE ISSUED: 10/05/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR AE&D
ACCREDITATION NO. BPB0203

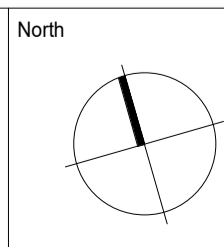
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A1 1 2 3 4 5 6 7 8 9 10

| Rev | Description | Eng | Draft | Date |
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| 2 | ISSUED FOR CO-ORDINATION | M.A. | A.A. | 22.02.19 |
| 1 | ISSUED FOR INFORMATION | M.A. | A.A. | 13.02.19 |

Architect
PBD ARCHITECTS

Structural and Civil Engineer
XAVIER KNIGHT
XAVIER KNIGHT CONSULTING ENGINEERS PTY. LTD. | STRUCTURAL + CIVIL
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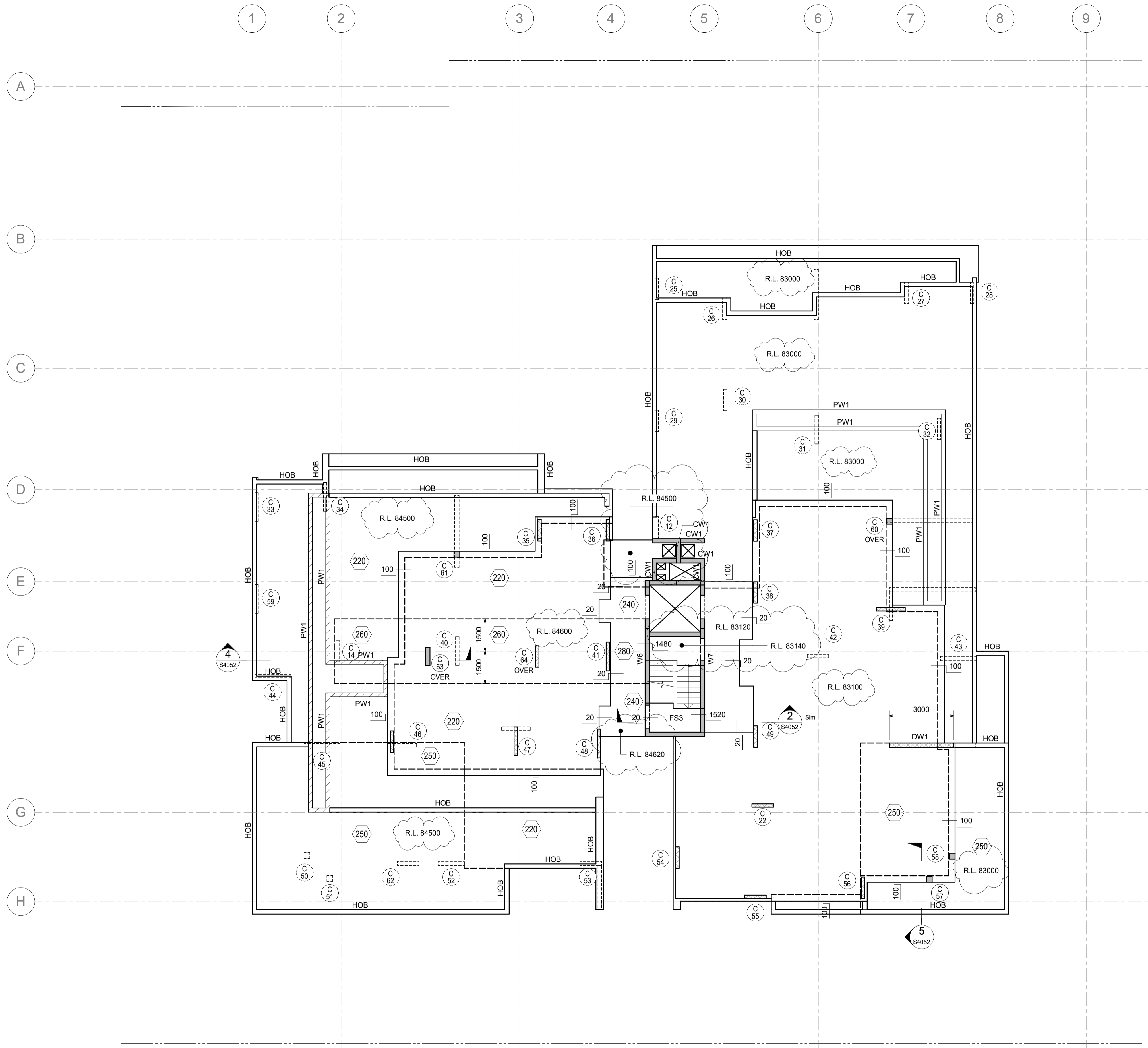
Project
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVE JANNALI

Sheet Subject
LEVEL 3 CONCRETE OUTLINE PLAN

| Scale at A1 | Drawn | Approved |
|-------------|------------|----------|
| 1: 100 | AA | JH |
| Job No | Drawing No | Revision |
| 181026 | S3001 | 4 |

LEVEL 4 CONCRETE OUTLINE PLAN - 200 THICK SLAB U.N.O.
1:100

1. CONCRETE OUTLINES, LEVELS, SETDOWNS, REBATES, FALLS & PENETRATIONS TO ARCHITECTS DETAILS.
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- 7.
8. DW1 DENOTES 200 DINCEL WALL. REFER TO DRAWING S0412 FOR DETAILS.



CONSTRUCTION CERTIFICATE NO. 8899-01-2019-CC

DATE ISSUED: 10/05/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

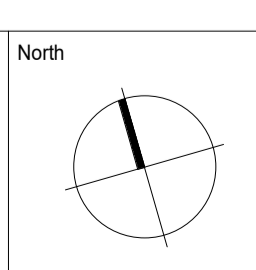
TRENTON JONES FOR AE&D
ACCREDITATION NO. BPB0203

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| Rev | Description | Eng | Draft | Date |
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| 4 | REVISED FOR CONSTRUCTION CERTIFICATE | J.H. | A.A. | 30.04.19 |
| 3 | ISSUED FOR CONSTRUCTION CERTIFICATE | M.A. | A.A. | 18.03.19 |
| 2 | ISSUED FOR CO-ORDINATION | M.A. | A.A. | 22.02.19 |
| 1 | ISSUED FOR INFORMATION | M.A. | A.A. | 13.02.19 |

Architect
PBD ARCHITECTS

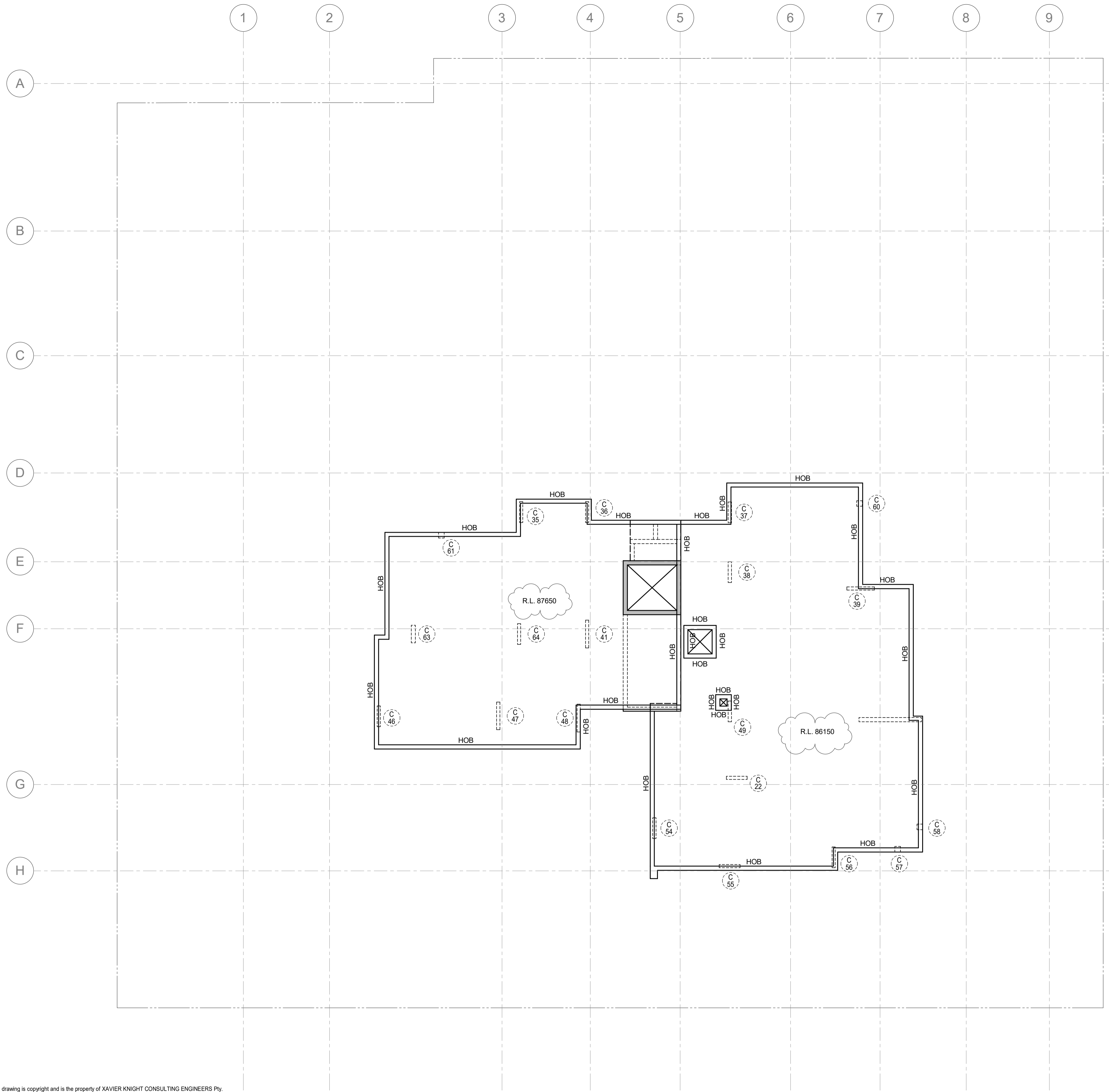
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Project
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVE JANNALI

Sheet Subject
LEVEL 4 CONCRETE OUTLINE PLAN

| Scale at A1 | Drawn | Approved |
|-------------|------------|----------|
| 1:100 | AA | JH |
| Job No | Drawing No | Revision |
| 181026 | S4001 | 4 |



ROOF CONCRETE OUTLINE PLAN - 200 THICK SLAB U.N.O.
1: 100

1. CONCRETE OUTLINES, LEVELS, SETDOWNS, REBATES, FALLS & PENETRATIONS TO ARCHITECTS DETAILS.
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8. A ROOF SAFETY ACCESS SYSTEM WHICH COMPLIES WITH THE RELEVANT OH & S REGULATIONS FOR FALL ARREST AND THE RELEVANT AUSTRALIAN STANDARDS IS TO BE INSTALLED AND CERTIFIED BY AN APPROPRIATELY EXPERIENCED SPECIALIST SUPPLIER. THE DESIGN BY THE SPECIALIST IS TO INCLUDE SYSTEM SELECTION, LAYOUT, INSTALLATION, FLASHING, STRENGTHENING WORKS AND CERTIFICATION.

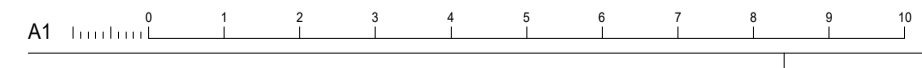


DATE ISSUED: 10/05/2019

I certify that work completed in accordance with these plans and specification will comply with the regulations referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

TRENTON JONES FOR AE&D
ACCREDITATION NO. BPP0203

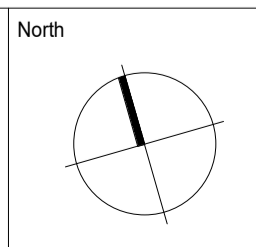
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Architect
PBD ARCHITECTS

Structural and Civil Engineer
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Project
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVE JANNALI

Sheet Subject
ROOF CONCRETE OUTLINE PLAN

| Scale at A1 | Drawn | Approved |
|-------------|------------|----------|
| 1: 100 | AA | JH |
| Job No | Drawing No | Revision |
| 181026 | S5001 | 4 |

NOTICE TO COMMENCE BUILDING WORK & OF A PRINCIPAL CERTIFYING AUTHORITY (PCA)

This form is used to:

- Notify the council that you intend to commence building work
 - Notify the council and the authority that granted development consent of a complying development certificate that you have appointed a principal certifying authority
-

1. DETAILS OF THE APPLICANT / HOLDER OF THE DEVELOPMENT CONSENT

Note: This application must be made by the person having benefit of the development consent. It may not be made by any contractor or other person who will carry out the building work unless the contractor or other person is the owner of the land on which the work is to be carried out.

MR MS MRS DR COMPANY OTHER

APPLICANT Truland Pty. Ltd.

ADDRESS Suite 309 405 Sussex Street

SUBURB Sydney STATE NSW POSTCODE 2000

TELEPHONE 02 8542 0459 MOBILE 0433 959 418 EMAIL albert@truland.com.au

2. DETAILS OF THE LAND TO BE DEVELOPED

ADDRESS 11 - 15 Mitchell Avenue

SUBURB Jannali STATE NSW POSTCODE 2226

LOT NO. DP/MPS NO. 1250463

SECTION VOLUME/FOLIO

3. DESCRIPTION OF THE WORK PROPOSED

TYPE OF WORK PROPOSED: BUILDING SUBDIVISION

DESCRIPTION OF THE WORK:

Construction of a five storey residential unit building over two levels of car park, containing 31 units.





4. DETAILS OF THE DEVELOPMENT CONSENT

DEVELOPMENT APPLICATION NO. 18/0393
CONSENT AUTHORITY Sutherland Shire Council
SECTION 96 MODIFICATION
DATE THE CONSENT WAS GRANTED 20 November 2018

OR

COMPLYING DEVELOPMENT CERTIFICATE NO.
DATE THE CERTIFICATE WAS ISSUED
CONSENT AUTHORITY

5. DETAILS OF THE CONSTRUCTION CERTIFICATE (if applicable)

CONSTRUCTION CERTIFICATE NO. 8899-01-2019-CC
DATE THE CERTIFICATE WAS ISSUED 10/05/19

6. STEPS TAKEN BY THE APPLICANT

INDICATE THE STEPS YOU HAVE TAKEN BY PLACING A CROSS IN EACH BOX.



I have met all the conditions in the development consent or the complying development certificate required to be satisfied before I can begin work



I have appointed a principal certifying authority

NAME OF THE PRINCIPAL CERTIFYING AUTHORITY Trenton Jones, for AED

ADDRESS Suite 3.04, 55 Miller Street

SUBURB Pyrmont STATE NSW POSTCODE 2009

TELEPHONE 02-9571 8433 MOBILE 0430 754 888 EMAIL trenton@aedconsulting.com.au

WHERE THE PRINCIPAL CERTIFYING AUTHORITY IS AN ACCREDITED CERTIFIER:

ACCREDITATION BODY OF THE CERTIFIER Department of Planning - Building Professionals Board

ACCREDITATION NO. OF THE CERTIFIER BPB0203





7. RESIDENTIAL BUILDING WORK / PRINCIPAL CONTRACTOR DETAILS

1. Is the subject development a residential building with no more than 3 above ground storeys?

NO ▶ Do not complete this section.

YES ▶ Please complete Part 2 below

2. Are you an owner builder?

YES ▶ What is your owner-builder permit No.?

NO ▶ Will the work be carried out by someone who is licensed to do so?

IF YES ▶ BUILDER'S NAME Lords Group

BUILDER'S ADDRESS Level 7, 80 George St, Parramatta

TELEPHONE NO. 9191 0622

CONTRACTOR LICENCE NO. 290914C

3. Have you attached to this notice, evidence that the licensed person is insured to carry out this type of work (i.e. a copy of an Owner Builder Permit or Builder's Home Warranty Insurance Certificate)?

YES

NO

IF NO ▶ Have you attached to this notice, a declaration (signed by the land owner/s) that the reasonable market cost of the labour and materials to be used is less than \$1000?

YES

NO

8. DATE THE WORK WILL COMMENCE

DATE 14/05/19

NOTE: YOU MUST PROVIDE AT LEAST 2 DAYS NOTICE





9. SIGNATURE

SIGNATURE

张+张

DATE 19-Feb-2019

NAME

Hengyu Zhang

NOTE: THE BUILDING CONTRACTOR CANNOT SIGN THIS FORM UNLESS THEY ARE ALSO THE OWNER OF THE LAND

Section 109E of the Environmental Planning & Assessment Act 1979, states:

(1) The person having the benefit of a development consent or complying development certificate for development involving building work or subdivision work may appoint the consent authority, the council or an accredited certifier as the principal certifying authority for the development.

(1A) Despite subsection (1), such an appointment may not be made by any contractor or other person who will carry out the building work or subdivision work unless the contractor or other person is the owner of the land on which the work is to be carried out.

THE PRINCIPAL CERTIFYING AUTHORITY MUST SIGN THE NOTICE.

I confirm that all conditions of the above development consent that are required to be satisfied prior to the work commencing have been satisfied.

I consent to being appointed by the applicant to carry out the role of the Principal Certifying Authority for this development.

SIGNATURE

Trenton Jones

NAME Trenton Jones

DATE 10/05/19

10. PRIVACY POLICY

The information you provide in this notice is required under the Environmental Planning and Assessment Act 1979 if you are going to erect a building or carry out subdivision work. If you do not provide the information to the consent authority, you cannot commence the work. The information will be held by the consent authority and by the council (if the council is not the consent authority). Please contact the council if the information you have provided in this notice is incorrect or changed.

CONSTRUCTION CERTIFICATE

NO. 8899-01-2019-CC

10 May 2019



Issued under Part 4A, Section 109C of the Environmental Planning and Assessment Act 1979

APPLICANT DETAILS

APPLICANT *Truland Development Pty Ltd*
ADDRESS *Suite 309, 405 Sussex Street, SYDNEY NSW 2000*
MOBILE *0417 113 188* EMAIL *kyrad@cpdm.com.au*

OWNER DETAILS

NAME OF OWNER *Michell Avenue Development*
ADDRESS *Suite 309, 405 Sussex Street, SYDNEY NSW 2000*
DATE APPLICATION RECEIVED *26/04/2019*

RELEVANT CONSENTS

DEVELOPMENT APPLICATION *DA18/0393* DATE ISSUED *20/11/2018*
CONSENT AUTHORITY *Sutherland Shire Council*

PROPOSAL

ADDRESS *11-15 Mitchell Avenue, JANNALI NSW 2226*
LOT NO. *2* DP NO *206541*
1 *210456*
M *415456*
BUILDING CLASSIFICATION *Class 2 & 7a*
DESCRIPTION *Stage 1 – Excavation, shoring and complete structure only for a 5 storey residential flat building over 2 levels of basement car parking.*
VALUE OF CONSTRUCTION (INC GST) *\$10,150,000.00*
APPROVED PLANS & SPECIFICATIONS [Schedule 1](#)
SUPPORTING DOCUMENTATION [Schedule 2](#)
FIRE SAFETY SCHEDULE [Schedule 3](#)

ALTERNATIVE SOLUTION REPORT/S

| TITLE | DATE | REFERENCE & REVISION | REPORT PREPARED BY | ACCREDITATION NO |
|--------------------------------|-----------------|-----------------------|---------------------------------------|------------------|
| <i>Fire Engineering Report</i> | <i>09/05/19</i> | <i>138309 FER001b</i> | <i>Sarnia Rusbridge – Holmes Fire</i> | <i>BPB0722</i> |





CRITICAL STAGE INSPECTIONS [See attached notice](#)

CERTIFIER DETAILS

CERTIFYING AUTHORITY *Trenton Jones*

ACCREDITATION DETAILS *Building Professionals Board
BPB0203 - A1 Unrestricted*

DETERMINATION

APPROVAL DATE *10 May 2019*

I confirm that work completed in accordance with the documentation accompanying the application for this certificate (with such modifications, if any, verified by me as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in s.81A(5) of the Environmental Planning & Assessment Act 1979.

Trenton Jones



SCHEDULE 1 – APPROVED PLANS & SPECIFICATIONS

Plans issued by Xavier Knight Consulting Engineers:

| No. | Title | Drawing No. | Revision | Date |
|-----|---|-------------|----------|----------|
| 1. | Basement Level B2 Concrete Outline Plan | S0701 | 4 | 30/04/19 |
| 2. | Basement Level B1 Concrete Outline Plan | S0801 | 4 | 30/04/19 |
| 3. | Ground Floor Concrete Outline Plan | S0901 | 4 | 30/04/19 |
| 4. | Level 1 Concrete Outline Plan | S1001 | 4 | 30/04/19 |
| 5. | Level 2 Concrete Outline Plan | S2001 | 4 | 30/04/19 |
| 6. | Level 3 Concrete Outline Plan | S3001 | 4 | 30/04/19 |
| 7. | Level 4 Concrete Outline Plan | S4001 | 4 | 30/04/19 |
| 8. | Roof Concrete Outline Plan | S5001 | 4 | 30/04/19 |



SCHEDULE 2 – SUPPORTING DOCUMENTATION

| No. | Title | Prepared by | Reference | Date |
|-----|--|------------------------------------|-----------------|-------------|
| 1. | Construction Certificate Application Form | Truland Development Pty Ltd | - | 09/04/19 |
| 2. | Long Service Levy Receipt | Long Service Corporation | 370260 | 21/02/19 |
| 3. | Existing Underground Services Plans | Dial Before You Dig | 15437251 | 10/12/18 |
| 4. | Tap In Building Plan Approval | Sydney Water | 3970412 | 31/01/19 |
| 5. | Section 73 Notice of Requirements | Sydney Water | 175866 | 21/02/19 |
| 6. | Design Certificate - Shoring & Excavation | Xavier Knight Consulting Engineers | 181026 | 06/03/19 |
| 7. | Shoring Plans | Xavier Knight Consulting Engineers | 181026 | - |
| | Title | Drawing No. | Revision | Date |
| | Cover Sheet | S0000 | 2 | 15/03/19 |
| | Notes Sheet | S0001 | 2 | 15/03/19 |
| | Shoring & Bulk Excavation Plan | S0101 | 2 | 15/03/19 |
| | Shoring Wall Elevations Sheet 1 | S0111 | 2 | 15/03/19 |
| | Shoring Wall Elevations Sheet 2 | S0112 | 2 | 15/03/19 |
| | Shoring Wall Sections Sheet 1 | S0115 | 2 | 15/03/19 |
| | Shoring Wall Details Sheet 1 | S0121 | 2 | 15/03/19 |
| | Shoring Wall Details Sheet 2 | S0122 | 2 | 15/03/19 |
| 8. | Design Certificate - Structural | Xavier Knight Consulting Engineers | 181026 | 30/04/19 |
| 9. | Structural Plans | Xavier Knight Consulting Engineers | 181026 | - |
| | Title | Drawing No. | Revision | Date |
| | Cover Sheet | S0000 | 2 | 15/03/19 |
| | Notes Sheet | S0001 | 2 | 15/03/19 |
| | Footing Plan | S0201 | 1 | 15/03/19 |
| | Footing Details Sheet 1 | S0211 | 1 | 15/03/19 |
| | Column Schedule Sheet 1 | S0301 | 1 | 15/03/19 |
| | Column Schedule Sheet 2 | S0302 | 2 | 15/03/19 |
| | Column Details Sheet 1 | S0311 | 1 | 15/03/19 |
| | Wall Elevations Sheet 1 | S0401 | 1 | 15/03/19 |
| | Wall Elevations Sheet 2 | S0402 | 1 | 15/03/19 |
| | Wall Details Sheet 1 | S0411 | 1 | 15/03/19 |
| | Wall Details Sheet 2 | S0412 | 1 | 15/03/18 |
| | Stair Details Sheet 1 | S0501 | 1 | 15/03/18 |
| | Basement Level B2 Details | S0751 | 1 | 15/03/19 |
| | Basement Level B1 Details Sheet 1 | S0851 | 1 | 15/03/19 |
| | Basement Level B1 Details Sheet 2 | S0852 | 1 | 15/03/19 |
| | Ground Floor Sections and Details Sheet 1 | S0951 | 1 | 15/03/19 |
| | Ground Floor Sections and Details Sheet 2 | S0952 | 1 | 15/03/19 |
| | Ground Floor Sections and Details Sheet 3 | S0953 | 1 | 15/03/19 |
| | Level 1 to 4 Typical Details | S4051 | 1 | 18/03/19 |
| | Level 1 to 4 Sections | S4052 | 1 | 18/03/19 |





| No. | Title | Prepared by | Reference | Date |
|----------------------------|---|---|-------------------|-------------|
| 10. | Design Certificate - Civil Works | Xavier Knight Consulting Engineers Pty Ltd | 181026 | - |
| 11. | Civil Works Plans | Xavier Knight Consulting Engineers Pty Ltd | 181026 | - |
| | Title | Drawing No. | Revision | Date |
| | Cover Sheet | C000 | A | 18/04/19 |
| | Stormwater Management Plan Basement 02 | C100 | A | 18/04/19 |
| | Stormwater Management Plan Basement 01 | C101 | A | 18/04/19 |
| | Stormwater Management Plan Ground Floor | C102 | a | 18/04/19 |
| | OSD Tank Outlet Pipe Longitudinal Section | C103 | A | 18/04/19 |
| | Drainage Details Sheet 1 of 3 | C200 | A | 18/04/19 |
| | Drainage Details Sheet 2 of 3 | C201 | A | 18/04/19 |
| | Drainage Details Sheet 3 of 3 | C202 | A | 18/04/19 |
| | Sediment and Erosion Control Plan | C300 | A | 18/04/19 |
| | Sediment and Erosion Control Details | C301 | A | 18/04/19 |
| | Driveway Plan | C400 | A | 18/04/19 |
| | Driveway Longitudinal Section | C401 | A | 18/04/19 |
| | Public Domain General Arrangement Plan | C500 | A | 18/04/19 |
| Public Domain Set-out Plan | C501 | A | 18/04/19 | |
| Public Domain Details | C510 | A | 18/04/19 | |
| 12. | Design Certificate - Fire Hydrants | Scott Collis Consulting Pty Ltd | - | 04/04/19 |
| 13. | Fire Engineering Report | Holmes Fire Pty Ltd | 138309 FER001b | 09/05/19 |
| 14. | Condition 2 – Council Security Bond Receipt | Truland Development | N020899309719 | 08/02/19 |
| 15. | Condition 3 – S94 Constructions Receipt | Sutherland Shire Council | 857270 | 29/04/19 |
| 16. | Condition 5 – Detailed Frontage Works Application Receipt | Sutherland Shire Council | 853208 | 20/02/19 |
| 17. | Development Frontage Works Design Brief | Sutherland Shire Council | RDA19/0189 | 27/02/19 |
| 18. | Alignment Levels Application Receipt | Sutherland Shire Council | - | 31/01/19 |
| 19. | Condition 6 – Site Management Plan | Lords Group | Rev 1.0 | 30/01/19 |
| 20. | Condition 8 – Supervising Engineer Contact Details | Lords Group | - | 04/03/19 |
| 21. | Condition 9 & 10 – Vehicular Access and Car Parking Design Certificate | Varga Traffic Planning Pty Ltd | 18790 | 10/04/19 |
| 22. | Condition 14 – Email re: Condition Satisfied | JK Geotechnics | - | 12/02/19 |
| 23. | Condition 14 – Geotechnical Investigation Report | JK Geotechnics | 30251Srpt | 21/03/17 |
| 24. | Condition 16 – Registered Plan of Consolidation | NSW Land Registry Services | DP1250463 | 22/02/19 |
| 25. | Condition 21 – Car Wash Bay Design Compliance Statement | Scott Collis Consulting Pty Ltd | - | 26/03/19 |





| No. | Title | Prepared by | Reference | Date |
|-----|---|--|-----------|------------|
| 26. | Condition 29 – Dilapidation Report - 17 Mitchell Avenue | Xavier Knight Consulting Engineers | 181026 | 29/01/19 |
| 27. | Condition 29 – Dilapidation Report - 43 Oxley Avenue | Xavier Knight Consulting Engineers | 181026 | 29/01/19 |
| 28. | Condition 29 – Dilapidation Report - Council Infrastructure (Mitchell Ave) | Xavier Knight Consulting Engineers | 181026 | 29/01/19 |
| 29. | Condition 29 – Dilapidation Report - Council Infrastructure (Oxley Ave) | Xavier Knight Consulting Engineers | 181026 | 29/01/19 |
| 30. | Condition 31 – SEPP 65 Verification Statement | PBD Architects & Project Managers Pty Ltd | - | March 2019 |
| 31. | Record of Inspection - Pre CC | Trenton Jones (AED) | 8899 | 02/05/19 |





SCHEDULE 3 - FIRE SAFETY SCHEDULE

ADDRESS: 11-15 Mitchell Avenue, JANNALI NSW 2226

PERFORMANCE BASED ALTERNATIVE SOLUTION: YES NO

RELEVANT BCA VOLUME: BCA 2016 Amendment 1

| ESSENTIAL SERVICE TO BE INSPECTED OR TESTED | INSTALLATION STANDARDS/LEVEL OF PERFORMANCE | NATURE OF INSPECTION OR TEST & FREQUENCY (for information only) | Existing | Proposed |
|---|---|---|--------------------------|-------------------------------------|
| | | | Tick as appropriate | |
| General - Fire Resistance | | | | |
| Fire-resisting Structures & Exits | BCA Sections C & D & Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | Annual inspection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Lightweight Construction | BCA Clause C1.8, BCA Specification C1.8 | Annual inspection | <input type="checkbox"/> | <input type="checkbox"/> |
| Fire-rated (or non-combustible) Access Panels, Doors & Hoppers to Fire-resisting Shafts | BCA C3.13 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Seals protecting openings in Fire-resisting components of the building (including Fire Collars & Fire-stopping/Mastic) | BCA Clause C3.15, BCA Specification C3.15 & C3.16, AS1530.4-2014 | Annual inspection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire-rated Lift Landing Doors | BCA Part Clause C3.10, AS1735.11-1986 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Doors | BCA Part C3, BCA Specification C3.4 (Clause 2), AS1905.1-2015 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Shutters | BCA Clause C3.5, Specification C3.4 & Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Dampers | BCA Clause C3.15, AS/NZS 1668.1-2015 AS1682.1-2015 AS1682.2-2015 | To AS1851.1 | <input type="checkbox"/> | <input type="checkbox"/> |
| General - Egress | | | | |
| Paths of Travel | BCA Clause 186 EP&A Regulation 2000, BCA Section D | Monthly inspections to confirm exit doors are accessible, intact, operational & fitted with conforming hardware | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Warning & Operational Signs | Fire & Smoke Door Signage - BCA Clause D2.23 Offences relating to Fire Stairs - Clause 183 of EP&A Regulation 2000 & Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | Annual inspection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| General - Services & Equipment | | | | |
| Portable Fire Extinguishers | BCA Clause E1.6, AS2444-2001 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |





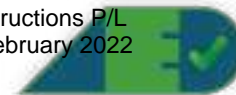
| ESSENTIAL SERVICE TO BE INSPECTED OR TESTED | INSTALLATION STANDARDS/LEVEL OF PERFORMANCE | NATURE OF INSPECTION OR TEST & FREQUENCY (for information only) | Existing Proposed | |
|---|---|---|--------------------------|-------------------------------------|
| | | | Tick as appropriate | |
| Warning Systems associated with Lifts (including Signs) | BCA Part E3 | Annual inspection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Mechanical Services | | | | |
| Air-conditioning & Mechanical Ventilation/Air Handling Systems | BCA Clause E2.2, BCA Table E2.2a, BCA NSW Table E2.2b, AS1668.1-2015, AS1668 | To AS1851-2012 | <input type="checkbox"/> | <input type="checkbox"/> |
| Electrical Services | | | | |
| Automatic Fire Detectors & Alarm Systems including heat detectors | BCA Clause E2.2 (Clauses 3,4, 6), BCA Table E2.2a, BCA Specification E2.2a, AS1670.1-2015 & AS3786-2014 & Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Emergency Lighting | BCA E4.2, E4.4 & AS2293.1-2005 | To AS 2293.2 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Exit Signs | BCA E4.5, E4.6, E4.8, AS2293.1-2005 & Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | To AS 2293.2 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Hydraulic Services | | | | |
| Fire Hydrants | BCA Clause E1.3, AS2419.1-2005 & Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Hose Reel Systems | BCA Clause E1.4 & AS2441-2005 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Engineering Report | | | | |
| Performance Solution 1 – FRL of Fire Rated Shutter The basement levels are to be separated into two fire compartments. Openings in fire walls are to be protected by doors that achieve an FRL of -/120/30. The proposed fire shutter will achieve an FRL of -/120/-. | Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 <ul style="list-style-type: none"> The Shutter shall abut 120/120/120 fire rated construction and be sealed/fire stopped against the spread of fire, and a blade wall (-/120/120 FRL) is to extend to the east of the southern column on Basement Level 1. Smoke detector to be provided on the ceiling within 1.5m of both sides of the fire shutter, Automatic closing of the carpark shutter is to be initiated by activation of smoke detector, any heat detector in the basement carpark and power failure. An audible | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |





| ESSENTIAL SERVICE TO BE INSPECTED OR TESTED | INSTALLATION STANDARDS/LEVEL OF PERFORMANCE | NATURE OF INSPECTION OR TEST & FREQUENCY (for information only) | Existing | Proposed |
|--|---|---|--------------------------|-------------------------------------|
| | | | Tick as appropriate | |
| | <p>warning device must be located near the shutter and a red flashing warning light of adequate intensity must be installed on each side of the doorway</p> <ul style="list-style-type: none"> Hatched line marking is to be provided to the floor surface on either side of the carpark fire shutter. These markings are to extend not less than 2.8 m out from the shutter. Signage within the hatching is to state 'KEEP CLEAR. NO PARKING. NO STORAGE'. The lettering is to be in capitals, no less than 100 mm in height and in a colour contrasting with the background. The requirement to prohibit storage and parking is to be included in the strata by-laws. | | | |
| <p>Performance Solution 2 – Residential Travel Distance</p> <p>The maximum travel distance from the entry door of a residential SOU to an exit is permitted to be 6 m. The travel distance from SOU 106, 206 and 306 is 6.25 m measured door leaf to door leaf.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> <ul style="list-style-type: none"> The public corridors will be provided with internally illuminated exit and direction signs in accordance with BCA Part E4 and AS 2293.1-2005. The Concession within BCA Clause E4.7 is not to be applied. Security screen doors are not to be permitted to any of the SOU entry doors. | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>Performance Solution 3 – Travel Distance in Basement Carpark</p> <p>The maximum travel distance in the basement carpark is permitted to be 20 m to a point of choice of exits and 40 m to an exit where two or more exits are available. The travel distance from the northwest corner of Basement Levels 1 and 2 is up to 30 m to a point of choice and 39 m to the nearest exit.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> <ul style="list-style-type: none"> Heat detection to be provided to the requirements of AS 1670.1-2015 to activate the carpark ventilation system (as per Clause 5 of AS/NZS 1668.1-2015) The stairs serving the basement are to be fire separated from the carpark on both levels with bounding construction achieving | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |





| ESSENTIAL SERVICE TO BE INSPECTED OR TESTED | INSTALLATION STANDARDS/LEVEL OF PERFORMANCE | NATURE OF INSPECTION OR TEST & FREQUENCY (for information only) | Existing | Proposed |
|---|--|---|--------------------------|-------------------------------------|
| | | | Tick as appropriate | |
| | an FRL of not less than - /120/120. Doors into the stair are to be self closing fire rated doorsets achieving an FRL of not less than - /120/30. | | | |
| <p>Performance Solution 4 – Discharge of Residential Fire-Isolated Stair</p> <p>Fire-isolated stairs are required to discharge to a road, open space, or a covered area with a ceiling height of at least 3 m and open for 1/3 of the perimeter.</p> <p>Fire-isolated stair FS3 discharges into a covered area that is open for 36 % of the perimeter with a ceiling height of 2.4 m and a distance of 1.2 m to open space.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>Performance Solution 5 – Fire Hydrant Booster Location</p> <p>The building is required to be provided with a fire hydrant system in accordance with AS 2419.1-2005, which includes a fire brigade booster connection. A remote booster is required to be located at least 10 m from the building. The proposed booster will be located in the southeast corner of the property, 9 m from the building.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> <ul style="list-style-type: none"> The walls to Unit G04 and 104 are to achieve an FRL of at least - /90/90 in both directions and the balustrade to Unit 104 is to be concrete for a height of at least 760mm. | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>Performance Solution 6 – Hydrant System Design</p> <p>The building is required to be provided with a hydrant system in accordance with AS 2419.1-2005. Due to the size of the carpark, the system is required to be designed based on two hydrants flowing, requiring a flow inquiry, a flow rate of 12 L/s can only be achieved. It is proposed to design the system based on a single hydrant flowing such that the provision of on-site water storage and pumps is not required.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> <ul style="list-style-type: none"> The hydrant system is to comply with AS 2419.1-2005 other than it may be designed based on one hydrant flowing. Signage is to be provided at the booster and within the hydrant block plan provided near the FIP advising of the design pressures and flows of the system | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |





NOTICE TO APPLICANT OF MANDATORY CRITICAL STAGE INSPECTIONS

Made under Section 81A(2)(b1)(ii) of the Environmental Planning and Assessment Act 1979

APPLICANT DETAILS

APPLICANT *Truland Development Pty Ltd*
ADDRESS *Suite 309, 405 Sussex Street, SYDNEY NSW 2000*
MOBILE *0417 113 188* **EMAIL** *kyrad@cpdm.com.au*

RELEVANT CONSENTS

DEVELOPMENT APPLICATION *DA18/0393* **DATE ISSUED** *20/11/2018*
CONSENT AUTHORITY *Sutherland Shire Council*

PROPOSAL

ADDRESS *11-15 Mitchell Avenue, JANNALI NSW 2226*
LOT NO. *2* **DP NO** *206541*
BUILDING CLASSIFICATION *Class 2 & 7a*
SCOPE OF WORKS *Stage 1 – Excavation, shoring and complete structure only for a 5 storey residential flat building over 2 levels of basement car parking.*

CERTIFIER DETAILS

CERTIFYING AUTHORITY *Trenton Jones*
ACCREDITATION DETAILS *Building Professionals Board
BPB0203 - A1 Unrestricted*

I, Trenton Jones, of **AE&D Pty Ltd** located at Suite 3.04, 55 Miller St, Pyrmont, NSW 2009 acting as the principal certifier, hereby give notice in accordance with Section 109E (3) (d) of the Part 4 of the Environmental Planning and Assessment Regulation 2000-Reg 162A to the person having the benefit of the development consent, that the mandatory critical stage inspections identified in Schedule 1 overleaf are to be carried out in respect of the building work.

To allow a principal certifier or another certifying authority time to carry out mandatory critical stage inspections, the principal contractor for the building site, or the owner builder, must notify the principal certifier at least 48 hours before building work is commenced at the site if a mandatory critical stage inspection is required before the commencement of the work in accordance with Clause 162A of the Environmental Planning & Assessment Regulation 2000.

Failure to request a mandatory critical stage inspection will prohibit the principal certifier under Section 6.5 of the Environmental Planning and Assessment Act 1979 to issue an occupation certificate.

Dated: 10 May 2019

Trenton Jones
Director



SCHEDULE 1: MANDATORY CRITICAL STAGE INSPECTIONS

| No. | Critical Stage Inspection | Inspector |
|-----|---|----------------------|
| 1. | First Footings After the commencement of the excavation for, and before the placement of, the first footing. | Certifying Authority |
| 2. | Service Penetrations Prior to covering of fire protection at service penetrations to building elements that are required to resist internal fire or smoke spread, inspection of a minimum of one of each type of protection method for each type of service, on each storey of the building comprising the building work. | Principal Certifier |
| 3. | Bounding Wall Construction Prior to covering the junction of any internal fire-resisting construction bounding a sole-occupancy unit (SOU), and any other building element required to resist internal fire spread, inspection of a minimum of 30% of SOUs on each storey of the building containing SOUs | Principal Certifier |
| 4. | Waterproofing Prior to covering of waterproofing in any wet areas, for a minimum of 10% of rooms with wet areas within a building. At least one unit is to be inspected. | Certifying Authority |
| 5. | Stormwater Prior to covering any stormwater drainage connections | Certifying Authority |
| 6. | Final After the building work has been completed and prior to any Occupation Certificate being issued in relation to the building | Principal Certifier |

CONSTRUCTION CERTIFICATE

NO. 8899-02-2019-CC

25 June 2019



Issued under Part 4A, Section 109C of the Environmental Planning and Assessment Act 1979

APPLICANT DETAILS

APPLICANT *Truland Development P/L*

ADDRESS *Suite 209, 405 Sussex Street, Sydney NSW 2000*

TELEPHONE --- MOBILE *0417 113 188* EMAIL *kyrad@cpdm.com.au*

OWNER DETAILS

NAME OF OWNER *Mitchell Avenue Development*

ADDRESS *Suite 309, 405 Sussex Street, Sydney NSW 2000*

DATE APPLICATION RECEIVED *26/04/2019*

RELEVANT CONSENTS

DEVELOPMENT APPLICATION *DA18/0393* DATE ISSUED *20/11/2018*

CONSENT AUTHORITY *Sutherland Shire Council*

PROPOSAL

ADDRESS *11-15 Mitchell Avenue, Jannali NSW 2226*

LOT NO. *100* DP NO *1250463*

BUILDING CLASSIFICATION *2, 7a, 7b*

DESCRIPTION *Construction of a five storey, 31 unit residential flat building over two levels of basement car parking*

VALUE OF CONSTRUCTION (INC GST) *\$10,150,000.00 (total cost of development)*

APPROVED PLANS & SPECIFICATIONS [Schedule 1](#)

SUPPORTING DOCUMENTATION [Schedule 2](#)

FIRE SAFETY SCHEDULE [Schedule 3](#)

ALTERNATIVE SOLUTION REPORT/S

| TITLE | DATE | REFERENCE & REVISION | REPORT PREPARED BY | ACCREDITATION NO |
|--------------------------------|-----------------|-----------------------|---------------------------------------|------------------|
| <i>Fire Engineering Report</i> | <i>09/05/19</i> | <i>138309 FER001b</i> | <i>Sarnia Rusbridge – Holmes Fire</i> | <i>BPB0722</i> |

CRITICAL STAGE INSPECTIONS [See attached notice](#)



CERTIFIER DETAILS

CERTIFYING AUTHORITY *Trenton Jones*

ACCREDITATION DETAILS *Building Professionals Board
BPB0203 - A1 Unrestricted*

DETERMINATION

APPROVAL DATE *25 June 2019*

I confirm that work completed in accordance with the documentation accompanying the application for this certificate (with such modifications, if any, verified by me as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in s.81A(5) of the Environmental Planning & Assessment Act 1979.



Trenton Jones

SCHEDULE 1 – APPROVED PLANS & SPECIFICATIONS

Plans issued by PBD Architects (Project No.1747):

| No. | Title | Drawing No. | Revision | Date |
|-----|--|-------------|----------|----------|
| 1. | Cover Sheet & BASIX Commitments | A0000 | 1 | 07/06/19 |
| 2. | BASIX Commitments | A0001 | 1 | 07/06/19 |
| 3. | Demolition Plan | A0002 | 1 | 07/06/19 |
| 4. | Materials Schedule | A0003 | 1 | 07/06/19 |
| 5. | Site Plan | A0004 | 1 | 07/06/19 |
| 6. | Wall Type Detail 01 | A0201 | 1 | 07/06/19 |
| 7. | Basement Level 2 Plan | A1001 | 1 | 07/06/19 |
| 8. | Basement Level 1 Plan | A1002 | 1 | 07/06/19 |
| 9. | Ground Floor Plan | A1003 | 1 | 07/06/19 |
| 10. | Typical Level 1-3 Plan | A1004 | 1 | 07/06/19 |
| 11. | Level 4 Plan | A1005 | 1 | 07/06/19 |
| 12. | Roof Plan | A1006 | 1 | 07/06/19 |
| 13. | Concrete Setout Plan Basement Level 2 | A1101 | 1 | 07/06/19 |
| 14. | Concrete Setout Plan Basement Level 1 | A1102 | 1 | 07/06/19 |
| 15. | Concrete Setout Plan Ground Floor Plan | A1103 | 1 | 07/06/19 |
| 16. | Concrete Setout Plan Typical Level 1-3 | A1104 | 1 | 07/06/19 |
| 17. | Concrete Setout Plan Level 4 Plan | A1105 | 1 | 07/06/19 |
| 18. | Concrete Setout Plan Level Roof Plan | A1106 | 1 | 07/06/19 |
| 19. | Wall Setout Basement Level 2 Plan | A1201 | 1 | 07/06/19 |
| 20. | Wall Setout Basement Level 1 Plan | A1202 | 1 | 07/06/19 |
| 21. | Wall Setout Ground Floor Plan | A1203 | 1 | 07/06/19 |
| 22. | Wall Setout Level 1-3 Plan | A1204 | 1 | 07/06/19 |
| 23. | Wall Setout Level 4 Plan | A1205 | 1 | 07/06/19 |
| 24. | RCP Ground Floor | A1303 | 1 | 07/06/19 |
| 25. | RCP Level 1-3 | A1304 | 1 | 07/06/19 |
| 26. | RCP Level 4 | A1305 | 1 | 07/06/19 |
| 27. | Elevation – South | A2001 | 1 | 07/06/19 |
| 28. | Elevation – West | A2002 | 1 | 07/06/19 |
| 29. | Elevation – North | A2003 | 1 | 07/06/19 |
| 30. | Elevation – East | A2004 | 1 | 07/06/19 |
| 31. | Section AA | A3001 | 1 | 07/06/19 |
| 32. | Section BB | A3003 | 1 | 07/06/19 |
| 33. | Section CC | A3002 | 1 | 07/06/19 |
| 34. | Section DD | A3004 | 1 | 07/06/19 |
| 35. | Section Details 01 | A4001 | 1 | 07/06/19 |
| 36. | Section Details 02 | A4002 | 1 | 07/06/19 |
| 37. | Balustrade Detail | A4101 | 1 | 07/06/19 |
| 38. | Threshold Detail | A4601 | 1 | 07/06/19 |
| 39. | Ceiling Floor Junction Detail | A4602 | 1 | 07/06/19 |
| 40. | Fire Stair 1 Detail | A4101 | 1 | 07/06/19 |
| 41. | Fire Stair 2 Detail | A4102 | 1 | 07/06/19 |
| 42. | Fire Stair 3 Detail | A4103 | 1 | 07/06/19 |

| No. | Title | Drawing No. | Revision | Date |
|-------|--|-------------|----------|----------|
| 43. | Window Schedule | A6001 | 1 | 07/06/19 |
| 44. | Door Schedule 01 / Door Jamb Detail | A6101 | 1 | 07/06/19 |
| 45. | Door Schedule 02 | A6102 | 1 | 07/06/19 |
| 46. | Adaptable Layout Type A | A7001 | 1 | 07/06/19 |
| 47. | Adaptable Layout Type B | A7002 | 1 | 07/06/19 |
| 48. | Adaptable Layout Type C | A7003 | 1 | 07/06/19 |
| 49. | Kitchen Detail – Type A 3 Bed Units | A7101 | 1 | 07/06/19 |
| 50. | Kitchen Detail – Type B 2 Bed Units | A7102 | 1 | 07/06/19 |
| 51. | Kitchen Detail – Type C 1 Bed Units | A7103 | 1 | 07/06/19 |
| 52. | Wet Area Detail – Type A | A7201 | 1 | 07/06/19 |
| 53. | Wet Area Detail – Type B | A7202 | 1 | 07/06/19 |
| 54. | Wet Area Detail – Type C | A7203 | 1 | 07/06/19 |
| 55. | Typical Joinery Details | A7301 | 1 | 07/06/19 |
| 56. | Typical Laundry Details | A7302 | 1 | 07/06/19 |
| 57-62 | Interior Finishes Schedule | | B | 07/06/19 |
| 63-70 | Fixtures, Fittings and Hardware Schedule | | B | 07/06/19 |

Specification issued:

| Title | Reference No. | Revision | Date |
|---|---------------|----------|----------|
| BCA Specification for 11-15 Mitchell Ave, Jannali | --- | --- | 25/06/19 |

SCHEDULE 2 – SUPPORTING DOCUMENTATION

| No. | Title | Prepared by | Date | |
|-----|--|---------------------------------------|-----------------|-------------|
| 1. | Construction Certificate Application Form | Truland Development P/L | 09/04/19 | |
| 2. | SEPP 65 Design Verification Statement | PBD Architects & Project Managers P/L | March 2018 | |
| 3. | Access Report No.19037, Issue B | Vista Access Architects P/L | 26/05/19 | |
| 4. | Noise Impact Assessment Report No.R180579R1, Rev 0 | Rodney Stevens Acoustics P/L | 27/05/19 | |
| 5. | Electrical Services Design Certificate – General Lighting in Car Park / Wiring, Emergency Lighting, Spit Fires, & Dry Fire | Tricom Engineering Group P/L | 21/05/19 | |
| 6. | Electrical Design Certificate – External Lighting | Tricom Engineering Group P/L | 06/05/19 | |
| 7. | Electrical Services Plans | Tricom Engineering Group P/L | | |
| | Title | Drawing No. | Revision | Date |
| 1. | Legend, Notes and Drawing Schedule | E01 | C | 21/05/19 |
| 2. | Basement 02 Lighting, Dry Fire and Power Layout | E02 | C | 21/05/19 |
| 3. | Basement 01 Lighting, Dry Fire and Power Layout | E03 | C | 21/05/19 |
| 4. | Ground Floor Lighting and Dry Fire Layout | E04 | C | 21/05/19 |
| 5. | Ground Floor Power and Communication Layout | E05 | C | 21/05/19 |
| 6. | Typical Level 01 to 03 Lighting and Dry Fire Layout | E06 | C | 21/05/19 |
| 7. | Typical Level 01 to 03 Power and Communication Layout | E07 | C | 21/05/19 |
| 8. | Level 04 Lighting and Dry Fire Layout | E08 | C | 21/05/19 |
| 9. | Level 04 Power and Communication Layout | E09 | C | 21/05/19 |
| 10. | Roof Level Layout | E10 | C | 21/05/19 |
| 11. | Block Diagrams – Main Switch Board Single Line Diagram | E11 | C | 21/05/19 |
| 12. | Block Diagrams – Distribution Boards Single Line Diagram | E12 | C | 21/05/19 |
| 13. | Block Diagrams – Gas & Hot Water System Schematic | E13 | C | 21/05/19 |
| 14. | Block Diagrams – MATV & PAYTV Schematic | E14 | C | 21/05/19 |
| 15. | Block Diagrams – Video Intercom & Access Control Schematic | E15 | C | 21/05/19 |
| 16. | Block Diagrams – NBN Schematic | E16 | C | 21/05/19 |
| 17. | Block Diagrams – NBN Notes | E17 | C | 21/05/19 |
| 18. | Basement 02 NBN Pathway Design | E18 | B | 21/05/19 |
| 19. | Basement 01 NBN Pathway Design | E19 | B | 21/05/19 |
| 20. | Ground Floor NBN Pathway Design | E20 | B | 21/05/19 |
| 21. | Typical Level 01 to 03 NBN Pathway Design | E21 | B | 21/05/19 |
| 22. | Level 04 NBN Pathway Design | E22 | B | 21/05/19 |
| 23. | Roof Level NBN Pathway Design | E23 | B | 21/05/19 |
| 8. | Design Certificate – Mechanical Services | RMJ Engineering P/L | 23/05/19 | |
| 9. | Mechanical Services Plans | RMJ Engineering P/L | | |
| | Title | Drawing No. | Revision | Date |
| 1. | Legend, General Notes, Scope of Work and Drawing List | M01 | C | 07/05/19 |
| 2. | Equipment Schedule and Details | M02 | C | 07/05/19 |
| 3. | Basement 2 | M03 | C | 07/05/19 |
| 4. | Basement 1 | M04 | C | 07/05/19 |
| 5. | Ground Floor | M05 | C | 07/05/19 |
| 6. | Level 1-3 | M06 | C | 07/05/19 |
| 7. | Level 4 | M07 | C | 07/05/19 |
| 8. | Roof | M08 | C | 07/05/19 |

| No. | Title | Prepared by | Date |
|-----|--|-------------------------------------|-----------------|
| 10. | Design Certificate – Plumbing and Fire Services | Scott Collis Consulting P/L | 14/05/19 |
| 11. | Hydraulic & Fire Services Plans (Job No.18172) | Scott Collis Consulting P/L | |
| | Title | Drawing No. | Revision |
| 1. | Legend, General Notes, Scope of Work and Drawing List | H01 | A |
| 2. | Specification & Notes | H02 | A |
| 3. | Drainage Services Basement Level 2 Plan | H03 | A |
| 4. | Drainage Services Basement Level 1 Plan | H04 | A |
| 5. | Drainage Services Level 1 Floor Plan | H06 | A |
| 6. | Drainage Services Level 2 Floor Plan | H07 | A |
| 7. | Drainage Services Level 3 Floor Plan | H08 | A |
| 8. | Drainage Services Level 4 Floor Plan | H09 | A |
| 9. | Drainage Services Roof Plan | H10 | A |
| 10. | Water, Fire & Gas Services Basement Level 2 Plan | H11 | B |
| 11. | Water, Fire & Gas Services Basement Level 1 Plan | H12 | B |
| 12. | Water, Fire & Gas Services Ground Floor Plan | H13 | B |
| 13. | Water, Fire & Gas Services Level 1 Floor Plan | H14 | B |
| 14. | Water, Fire & Gas Services Level 2 Floor Plan | H15 | B |
| 15. | Water, Fire & Gas Services Level 3 Floor Plan | H16 | B |
| 16. | Water, Fire & Gas Services Level 4 Floor Plan | H17 | B |
| 17. | Water, Fire & Gas Services Roof Plan | H18 | A |
| 12. | Design Certification Ref.SS18-3760 – Landscaping | Site Image NSW P/L | 10/05/19 |
| 13. | Landscaping Plans (Job No.SS18-3760) | Site Image NSW P/L | |
| | Title | Drawing No. | Revision |
| 1. | Cover Sheet | 000 | E |
| 2. | Existing Tree Plan | 001 | A |
| 3. | Landscape Plan | 101 | E |
| 4. | Landscape Details | 501 | C |
| 5. | Landscape Details | 502 | A |
| 14. | Landscape Specification SS18-3760, Revision A | Site Image NSW P/L | 02/05/19 |
| 15. | Structural Design Certificate Project No.181026 | Xavier Knight Consulting Engineers | 29/05/19 |
| 16. | Assessment Report No.FCO-3060, Revision B – Likely non-combustibility performance of Hebel AAC | CSIRO – Infrastructure Technologies | 10/06/14 |
| 17. | Certificate of Conformity No.CM40049 – Hebel PowerPanel XL Wall System | CodeMark Australia | 01/05/19 |
| 18. | Road & Rail Noise Impact Assessment Report No.180579R1, Revision 0 | Rodney Stevens Acoustics P/L | 21/06/19 |

SCHEDULE 3 - FIRE SAFETY SCHEDULE

PROPERTY: Residential Flat Building

ADDRESS: 11-15 Mitchell Avenue, Jannali NSW 2226

PERFORMANCE BASED ALTERNATIVE SOLUTION: YES NO

RELEVANT BCA VOLUME: BCA 2016 Amendment 1

| ESSENTIAL SERVICE TO BE INSPECTED OR TESTED | INSTALLATION STANDARDS/LEVEL OF PERFORMANCE | NATURE OF INSPECTION OR TEST & FREQUENCY (for information only) | Existing | Proposed |
|---|---|---|--------------------------|-------------------------------------|
| | | | Tick as appropriate | |
| General - Fire Resistance | | | | |
| Fire-resisting Structures & Exits | BCA Sections C & D & Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | Annual inspection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Lightweight Construction | BCA Clause C1.8, BCA Specification C1.8 | Annual inspection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire-rated (or non-combustible) Access Panels, Doors & Hoppers to Fire-resisting Shafts | BCA C3.13 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Seals protecting openings in Fire-resisting components of the building (including Fire Collars & Fire-stopping/Mastic) | BCA Clause C3.15, BCA Specification C3.15 & C3.16, AS1530.4-2014 | Annual inspection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire-rated Lift Landing Doors | BCA Part Clause C3.10, AS1735.11-1986 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Doors | BCA Part C3, BCA Specification C3.4 (Clause 2), AS1905.1-2015 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Shutters | BCA Clause C3.5, Specification C3.4 & Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Dampers | BCA Clause C3.15, AS/NZS 1668.1-2015 AS1682.1-2015 AS1682.2-2015 | To AS1851.1 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| General - Egress | | | | |
| Paths of Travel | BCA Clause 186 EP&A Regulation 2000, BCA Section D | Monthly inspections to confirm exit doors are accessible, intact, operational & fitted with conforming hardware | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Warning & Operational Signs | Fire & Smoke Door Signage - BCA Clause D2.23 Offences relating to Fire Stairs - Clause 183 of EP&A Regulation 2000 & Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | Annual inspection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| General - Services & Equipment | | | | |
| Portable Fire Extinguishers | BCA Clause E1.6, AS2444-2001 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Warning Systems associated with Lifts (including Signs) | BCA Part E3 | Annual inspection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Mechanical Services | | | | |
| Air-conditioning & Mechanical Ventilation/Air Handling Systems | BCA Clause E2.2, BCA Table E2.2a, BCA NSW Table E2.2b, AS1668.1-2015, AS1668 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| ESSENTIAL SERVICE TO BE INSPECTED OR TESTED | INSTALLATION STANDARDS/LEVEL OF PERFORMANCE | NATURE OF INSPECTION OR TEST & FREQUENCY (for information only) | Existing | Proposed |
|--|--|---|--------------------------|-------------------------------------|
| | | | Tick as appropriate | |
| Electrical Services | | | | |
| Automatic Fire Detectors & Alarm Systems including heat detectors | BCA Clause E2.2 (Clauses 3,4, 6), BCA Table E2.2a, BCA Specification E2.2a, AS1670.1-2015 & AS3786-2014 & Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Emergency Lighting | BCA E4.2, E4.4 & AS2293.1-2005 | To AS 2293.2 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Exit Signs | BCA E4.5, E4.6, E4.8, AS2293.1-2005 & Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | To AS 2293.2 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Hydraulic Services | | | | |
| Fire Hydrants | BCA Clause E1.3, AS2419.1-2005 & Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Hose Reel Systems | BCA Clause E1.4 & AS2441-2005 | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Fire Engineering Report | | | | |
| <p>Performance Solution 1 – FRL of Fire Rated Shutter</p> <p>The basement levels are to be separated into two fire compartments. Openings in fire walls are to be protected by doors that achieve an FRL of -/120/30. The proposed fire shutter will achieve an FRL of -/120/-.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> <ul style="list-style-type: none"> The Shutter shall abut 120/120/120 fire rated construction and be sealed/fire stopped against the spread of fire, and a blade wall (-/120/120 FRL) is to extend to the east of the southern column on Basement Level 1. Smoke detector to be provided on the ceiling within 1.5m of both sides of the fire shutter, Automatic closing of the carpark shutter is to be initiated by activation of smoke detector, any heat detector in the basement carpark and power failure. An audible warning device must be located near the shutter and a red flashing warning light of adequate intensity must be installed on each side of the doorway Hatched line marking is to be provided to the floor surface on either side of the carpark fire shutter. These markings are to extend not less than 2.8 m out from the shutter. Signage within the hatching is to state "KEEP CLEAR. NO PARKING. NO STORAGE". The lettering is to be in capitals, no less than 100 mm in height and in a colour contrasting with the background. The requirement to prohibit storage and parking is to be included in the strata by-laws. | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>Performance Solution 2 – Residential Travel Distance</p> <p>The maximum travel distance from the entry door of a residential SOU to an exit is permitted to be 6 m. The travel distance from SOU 106, 206 and 306 is 6.25 m measured door leaf to door leaf.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> <ul style="list-style-type: none"> The public corridors will be provided with internally illuminated exit and direction signs in accordance with BCA Part E4 and AS 2293.1-2005. The Concession within BCA Clause E4.7 is not to be applied. Security screen doors are not to be permitted to any of the SOU entry doors. | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

| ESSENTIAL SERVICE TO BE INSPECTED OR TESTED | INSTALLATION STANDARDS/LEVEL OF PERFORMANCE | NATURE OF INSPECTION OR TEST & FREQUENCY (for information only) | Existing | Proposed |
|---|--|---|--------------------------|-------------------------------------|
| | | | Tick as appropriate | |
| <p>Performance Solution 3 – Travel Distance in Basement Carpark</p> <p>The maximum travel distance in the basement carpark is permitted to be 20 m to a point of choice of exits and 40 m to an exit where two or more exits are available. The travel distance from the northwest corner of Basement Levels 1 and 2 is up to 30 m to a point of choice and 39 m to the nearest exit.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> <ul style="list-style-type: none"> Heat detection to be provided to the requirements of AS 1670.1-2015 to activate the carpark ventilation system (as per Clause 5 of AS/NZS 1668.1-2015) The stairs serving the basement are to be fire separated from the carpark on both levels with bounding construction achieving an FRL of not less than -/120/120. Doors into the stair are to be self-closing fire rated doorsets achieving an FRL of not less than -/120/30. | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>Performance Solution 4 – Discharge of Residential Fire-Isolated Stair</p> <p>Fire-isolated stairs are required to discharge to a road, open space, or a covered area with a ceiling height of at least 3 m and open for 1/3 of the perimeter.</p> <p>Fire-isolated stair FS3 discharges into a covered area that is open for 36 % of the perimeter with a ceiling height of 2.4 m and a distance of 1.2 m to open space.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>Performance Solution 5 – Fire Hydrant Booster Location</p> <p>The building is required to be provided with a fire hydrant system in accordance with AS 2419.1-2005, which includes a fire brigade booster connection. A remote booster is required to be located at least 10 m from the building. The proposed booster will be located in the southeast corner of the property, 9 m from the building.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> <ul style="list-style-type: none"> The walls to Unit G04 and 104 are to achieve an FRL of at least -/90/90 in both directions and the balustrade to Unit 104 is to be concrete for a height of at least 760mm. | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>Performance Solution 6 – Hydrant System Design</p> <p>The building is required to be provided with a hydrant system in accordance with AS 2419.1-2005. Due to the size of the carpark, the system is required to be designed based on two hydrants flowing, requiring a flow inquiry, a flow rate of 12 L/s can only be achieved. It is proposed to design the system based on a single hydrant flowing such that the provision of on-site water storage and pumps is not required.</p> | <p>Fire Engineering Report prepared by Homes Fire, ref: 138309.FER001b, Ver B, dated 09/05/19</p> <ul style="list-style-type: none"> The hydrant system is to comply with AS 2419.1-2005 other than it may be designed based on one hydrant flowing. Signage is to be provided at the booster and within the hydrant block plan provided near the FIP advising of the design pressures and flows of the system | To AS1851-2012 | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

NOTICE TO APPLICANT OF MANDATORY CRITICAL STAGE INSPECTIONS

Made under Section 81A(2)(b1)(ii) of the Environmental Planning and Assessment Act 1979

APPLICANT DETAILS

APPLICANT *Truland Development P/L*

ADDRESS *Suite 209, 405 Sussex Street, Sydney NSW 2000*

TELEPHONE --- MOBILE *0417 113 188* EMAIL *kyrad@cpdm.com.au*

RELEVANT CONSENTS

DEVELOPMENT APPLICATION *DA18/0393* DATE ISSUED *20/11/2018*

CONSENT AUTHORITY *Sutherland Shire Council*

PROPOSAL

ADDRESS *11-15 Mitchell Avenue, Jannali NSW 2226*

LOT NO. *100* DP NO *1250463*

BUILDING CLASSIFICATION *2, 7a, 7b*

SCOPE OF WORKS *Construction of a five storey, 31 unit residential flat building over two levels of basement car parking*

CERTIFIER DETAILS

CERTIFYING AUTHORITY *Trenton Jones*

ACCREDITATION DETAILS *Building Professionals Board
BPB0203 - A1 Unrestricted*

I, Trenton Jones, of **AE&D Pty Ltd** located at Suite 3.04, 55 Miller St, Pyrmont, NSW 2009 acting as the principal certifier, hereby give notice in accordance with Section 109E (3) (d) of the Part 4 of the Environmental Planning and Assessment Regulation 2000-Reg 162A to the person having the benefit of the development consent, that the mandatory critical stage inspections identified in Schedule 1 overleaf are to be carried out in respect of the building work.

To allow a principal certifier or another certifying authority time to carry out mandatory critical stage inspections, the principal contractor for the building site, or the owner builder, must notify the principal certifier at least 48 hours before building work is commenced at the site if a mandatory critical stage inspection is required before the commencement of the work in accordance with Clause 162A of the Environmental Planning & Assessment Regulation 2000.

Failure to request a mandatory critical stage inspection will prohibit the principal certifier under Section 6.5 of the Environmental Planning and Assessment Act 1979 to issue an occupation certificate.

Dated: *25 June 2019*



Trenton Jones
Director

SCHEDULE 1: MANDATORY CRITICAL STAGE INSPECTIONS

| No. | Critical Stage Inspection | Inspector |
|-----|---|----------------------|
| 1. | First Footings After the commencement of the excavation for, and before the placement of, the first footing. | Certifying Authority |
| 2. | Service Penetrations Prior to covering of fire protection at service penetrations to building elements that are required to resist internal fire or smoke spread, inspection of a minimum of one of each type of protection method for each type of service, on each storey of the building comprising the building work. | Principal Certifier |
| 3. | Bounding Wall Construction Prior to covering the junction of any internal fire-resisting construction bounding a sole-occupancy unit (SOU), and any other building element required to resist internal fire spread, inspection of a minimum of 30% of SOUs on each storey of the building containing SOUs | Principal Certifier |
| 4. | Waterproofing Prior to covering of waterproofing in any wet areas, for a minimum of 10% of rooms with wet areas within a building. At least one unit is to be inspected. | Certifying Authority |
| 5. | Stormwater Prior to covering any stormwater drainage connections | Certifying Authority |
| 6. | Final After the building work has been completed and prior to any Occupation Certificate being issued in relation to the building | Principal Certifier |

Binay Kumar

From: Megan Clark
Sent: Friday, 10 May 2019 1:50 PM
To: ssc@ssc.nsw.gov.au
Subject: Notice to Commence - 11-15 Mitchell Ave, Jannali
Attachments: 19.02.19 CC1 Jannali - AED NTC Form - Signed.pdf; 8899-01-2019-CC Certificate.pdf

Attention Planning & Development Manager

In accordance with the Environmental Planning & Assessment Regulations 2000, please find attached Notice to Commence and Appointment of PCA for Development Consent DA18/0393 approved at 11-15 Mitchell Avenue, Jannali.

A copy of the Construction Certificate has been attached for your record and a complete package including stamped plans, Supporting Documents and lodgement fee has been forward to Council.

Kind Regards

Megan Clark
TEAM ADMINISTRATION / ASSISTANT BUILDING SURVEYOR
AED



Head Office: Suite 3.04, 55 Miller Street, Pyrmont NSW 2009

Southern Highlands Office: Unit 10/19 Lyell Street, Mittagong NSW 2575

Sutherland Shire Office: Level 1 Regus, Suite 20, 29 Kiara Road, Miranda NSW 2228

Phone: 02-9571 8433 (Ext.770) Direct: (02) 8570 1770 Email: megan@aedconsulting.com.au VCard: [Megan Clark.vcf](#)

www.aedconsulting.com.au | AED Capability Statement | AED Access Capability Statement | AED Fire Capability Statement

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DA 000 COVER SHEET & BASIX COMMITMENT
DA 001 PROJECT SUMMARY

DA 100 SITE PLAN
DA 101 BASEMENT 2 PLAN
DA 102 BASEMENT 1 PLAN
DA 103 GROUND FLOOR PLAN
DA 104 LEVEL 1-3 PLAN
DA 105 LEVEL 4 PLAN
DA 106 ROOF PLAN

DA 201 ELEVATION - SOUTH
DA 202 ELEVATION - WEST
DA 203 ELEVATION - NORTH
DA 204 ELEVATION - EAST

DA 301 SECTION AA
DA 302 DETAILED FACADE SECTION
DA 401 MATERIAL SCHEDULE
DA 402 MATERIAL SCHEDULE

DA 413 PERSPECTIVE VIEW
DA 414 PERSPECTIVE VIEW
DA 415 PERSPECTIVE VIEW

DA 500 FSR PLAN
DA 510 DEEP SOIL & COMMUNAL OPEN SPACE
DA 551 STORAGE DIAGRAM
DA 552 STORAGE DIAGRAM
DA 580 16m HEIGHT PLANE DIAGRAM

DA801 ADAPTABLE LAYOUT - TYPE A
DA802 ADAPTABLE LAYOUT - TYPE B
DA803 ADAPTABLE LAYOUT - TYPE C

AREA SCHEDULE

| Level | Unit No. | Type | Unit Area (m2) | Terrace/Balcony (m2) | Unit Storage (m3) | Basement Storage (m3) | Total Storage (m3) | Adaptable Unit | Livable Unit |
|---------|----------|-------|----------------|----------------------|-------------------|-----------------------|--------------------|----------------|--------------|
| GF | G01 | 1 bed | 56 | 20 | 3 | 3 | 6 | ✓ | |
| | G02 | 2 bed | 85 | 50 | 4 | 4 | 8 | | |
| | G03 | 2 bed | 76 | 74 | 4 | 4 | 8 | | |
| | G04 | 2 bed | 84 | 97 | 4 | 4 | 8 | | |
| | G05 | 2 bed | 77 | 135 | 4 | 4 | 8 | | |
| | G06 | 3 bed | 99 | 89 | 5 | 5 | 10 | | |
| | G07 | 1 bed | 51 | 26 | 3 | 3 | 6 | ✓ | |
| Level 1 | 101 | 2 bed | 76 | 18 | 4 | 4 | 8 | | |
| | 102 | 2 bed | 85 | 12 | 4 | 4 | 8 | | |
| | 103 | 2 bed | 76 | 13 | 4 | 4 | 8 | | |
| | 104 | 2 bed | 84 | 21 | 4 | 4 | 8 | | |
| | 105 | 2 bed | 77 | 29 | 4 | 4 | 8 | | ✓ |
| | 106 | 3 bed | 99 | 18 | 5 | 5 | 10 | | |
| | 107 | 1 bed | 51 | 13 | 3 | 3 | 6 | ✓ | |
| Level 2 | 201 | 2 bed | 76 | 18 | 4 | 4 | 8 | | |
| | 202 | 2 bed | 85 | 12 | 4 | 4 | 8 | | |
| | 203 | 2 bed | 76 | 13 | 4 | 4 | 8 | | |
| | 204 | 2 bed | 84 | 21 | 4 | 4 | 8 | | |
| | 205 | 2 bed | 77 | 29 | 4 | 4 | 8 | | ✓ |
| | 206 | 3 bed | 99 | 18 | 5 | 5 | 10 | | |
| | 207 | 1 bed | 51 | 13 | 3 | 3 | 6 | ✓ | |
| Level 3 | 301 | 2 bed | 76 | 18 | 4 | 4 | 8 | | |
| | 302 | 2 bed | 85 | 12 | 4 | 4 | 8 | | |
| | 303 | 2 bed | 76 | 13 | 4 | 4 | 8 | | |
| | 304 | 2 bed | 84 | 21 | 4 | 4 | 8 | | |
| | 305 | 2 bed | 77 | 29 | 4 | 4 | 8 | | ✓ |
| | 306 | 3 bed | 99 | 18 | 5 | 5 | 10 | | |
| | 307 | 1 bed | 51 | 13 | 3 | 3 | 6 | ✓ | |
| Level 4 | 401 | 2 bed | 81 | 53 | 4 | 4 | 8 | | |
| | 402 | 2 bed | 84 | 23 | 4 | 4 | 8 | | |
| | 403 | 3 bed | 98 | 87 | 5 | 5 | 10 | ✓ | |

Assessor Construction Summary

| | | | | | |
|-------------------------------|--|--|---|--|--|
| Project: | Address: 11-15 Mitchell Avenue, Jannali NSW | Applicant: Truland Development Pty Ltd | | | |
| Contact: | Name: Layla Kim - PBD | Contact: layla@pbdarchitects.com.au | | | |
| Assessor: | Name: Victor Lin | Company: Victor Lin & Associates | | | |
| | Address: PO Box 5080, Sth Turramurra, 2074 | Number: BDAV/12/1454 | | | |
| | Contact: 0412-988088 | Email: mlin007@hotmail.com | | | |
| Ext. Walls: | Construction: Hebel wall | Insulation: None | Colour: Med | Details: As per plans | |
| | | R1.5 | | See table below | |
| | Weatherboard Cavity | None | | As per plans | |
| Int. Walls: | Construction: Hebel wall | Insulation: None | Colour: As per plans | Details: As per plans | |
| Floors: | Construction: Concrete | Insulation: None | Colour: Carpet, Tiles, Timber | Details: Floor above car park | |
| | | R2.0 | | See table below | |
| | | R3.0 | | See table below | |
| Ceilings: | Construction: Suspended Plasterboard | Insulation: R4.0 | Colour: Under all roofs & Ceiling with balcony above | Details: Under all roofs & Ceiling with balcony above | |
| Roof: | Construction: Concrete | Insulation: None | Colour: Medium | Details: As per plans | |
| Windows: | Product ID: Generic | Glass: Single Clear | Frame: Aluminium | Uw/SHGCw: 6.70 / 0.70 | Window types: Fixed & sliding windows and doors |
| | | | | 6.70 / 0.57 | Awning windows |
| | | Single Low E | | 5.40 / 0.58 | Sliding windows/doors |
| Skylights: | Product ID: Generic | Glass: Single Clear | Frame: Aluminium/limber | Uw/SHGCw: NA | Details: NA |
| Other: | Orientation: 15 | Terrain: Suburban | Weatherseals: Yes | Climate Zone: 56 | Recessed Downlights: YES - SEALED TYPE ONLY |
| | | | | | 50mm LED at 1 per 5 sqm of ceiling space |
| Overshadowing Details: | Other Project Buildings | | | | |
| Assessment: | Drawings: dwgs as stamped | File Ref: 4177A | Software: BERS Pro 4.3 | | |

Certification Number: 0003200790 Date: 23-September-2018

| Unit No. | Insulation Summary (refer also to table above) | | | | | | Additional Requirements | SEALED Recessed Downlights ONLY | Sealed exhaust vents |
|----------|--|----------------------|-------------------------|-----------------|-------|---------------------------------------|-------------------------|---------------------------------|----------------------|
| | Floor Insulation R2.0 | Wall Insulation R1.5 | Ceiling Insulation R4.0 | Roof Insulation | Low E | | | | |
| G001 | X | X | | | | | | X | X |
| G002 | X | | | | | | | X | X |
| G003 | X | | | | | | | X | X |
| G004 | X | X | | | | | | X | X |
| G005 | R3.0 | X | | | | | | X | X |
| G006 | X | | | | | | | X | X |
| G007 | X | | | | | | | X | X |
| 101 | | | | | | | | X | X |
| 102 | | | | | | | | X | X |
| 103 | | | | | | | | X | X |
| 104 | | X | | | | | | X | X |
| 105 | | X | | | | South facing windows in living/dining | | X | X |
| 106 | | | | | | | | X | X |
| 107 | | | | | | | | X | X |
| 201 | | | | | | | | X | X |
| 202 | | | | | | | | X | X |

Certification Number: 0003200790 Date: 23-September-2018

| Unit No. | Insulation Summary (refer also to table above) | | | | | | Additional Requirements | SEALED Recessed Downlights ONLY | Sealed exhaust vents |
|----------|--|----------------------|-------------------------|-----------------|-------|---------------------------------------|-------------------------|---------------------------------|----------------------|
| | Floor Insulation R2.0 | Wall Insulation R1.5 | Ceiling Insulation R4.0 | Roof Insulation | Low E | | | | |
| 203 | | | | | | | | X | X |
| 204 | | X | | | | | | X | X |
| 205 | | X | | | | South facing windows in living/dining | | X | X |
| 206 | | | | | | | | X | X |
| 207 | | | | | | | | X | X |
| 301 | | | X | | | | | X | X |
| 302 | | | X | | | | | X | X |
| 303 | | | | | | | | X | X |
| 304 | | X | | | | | | X | X |
| 305 | | X | X | | | South facing windows in living/dining | | X | X |
| 306 | | | | | | | | X | X |
| 307 | | | | | | | | X | X |
| 401 | | | X | | | | | X | X |
| 402 | | X | X | | | | | X | X |
| 403 | | | X | | | | | X | X |

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5.6
Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
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Certificate no.: 0003200790
Assessor Name: Victor Lin
Accreditation no.: VIC/BDAV/12/1454
Certificate date: 24 September 2018
Dwelling Address: 11-15 Mitchell Avenue, Jannali, NSW 2226

- GENERAL NOTES:**
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
 - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
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- LEGEND:**
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 - R RECYCLING BIN
 - RCL RETRACTABLE CLOTHES LINE
 - SK SKY LIGHT
 - ST STORAGE

| B | 21.09.2018 | REVISED DA |
|-------|------------|---------------|
| A | 28.03.2018 | ISSUED FOR DA |
| ISSUE | DATE | DESCRIPTION |

CLIENT:
TRULAND DEVELOPMENT PTY LTD

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ABN 36 147 035 550
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
COVER SHEET - REVISED DA & BASIX COMMITMENT

| | | |
|---------------------|-----------------------------|--------------------|
| SCALE: N/A | DRAWING NO: DA000 | ISSUE: B |
| PROJECT NO: 1747 | | |

GENERAL NOTES:

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| SK | SKY LIGHT |
| ST | STORAGE |



PROJECT INFORMATION

| | |
|---------------------------------------|-----------------------|
| 11-15 Mitchell Avenue, Jannali | |
| Site Area (m ²) | 2132 |
| Allowable FSR | 1.2 : 1 |
| Permissible GFA (m ²) | 2558 |
| Zoning | R4 - Residential Flat |
| Height Control | 16m |

UNIT MIX

| Level | Bed: 1 | Bed: 2 | Bed: 3 | Total |
|--------------|----------|-----------|----------|-----------|
| GF | 2 | 4 | 1 | 7 |
| LEVEL 1 | 1 | 5 | 1 | 7 |
| LEVEL 2 | 1 | 5 | 1 | 7 |
| LEVEL 3 | 1 | 5 | 1 | 7 |
| LEVEL 4 | 0 | 2 | 1 | 3 |
| TOTAL | 5 | 21 | 5 | 31 |
| | 16% | 68% | 16% | |

GFA

| Level | Area |
|------------------|-------------|
| GF | 564 |
| LEVEL 1 | 572 |
| LEVEL 2 | 572 |
| LEVEL 3 | 572 |
| LEVEL 4 | 277 |
| TOTAL GFA | 2557 |
| FSR | 1.2 : 1 |

CAR PARKING / BICYCLE REQUIREMENTS

| | Rate | No. of Units | Required (min.) | Proposed |
|--------------------|---------------------------------|--------------|-----------------|---------------------------------|
| Residential | | | | |
| 1 Bed | 1 | 5 | 5 | 5 |
| 2 Bed | 1.5 | 21 | 31.5 | 32 |
| 3 Bed | 2 | 5 | 10 | 10 |
| | | | 46.5 | 47 |
| Car wash bay | | | 1 | 1 |
| Visitor | 1 per 4 units | 31 | 7.8 | 8 |
| Accessible | 1 per adaptable unit | | 6.2 | 6 |
| | | | | Forms part of residential total |
| TOTAL | | | 55.3 | 56 |
| Bicycle | 1 bicycle space per 10 carspace | | 5.6 | 6 |

Other Requirements

| | Council / ADG Req | Required | Proposed |
|----------------------------|------------------------|----------|-----------|
| Landscaped Area | | | |
| Deep Soil | min. 30% of Site Area | 639.6 | 680 = 32% |
| Communal Open Space | min. 25% of Site Area | 533 | 388 = 18% |
| Solar Access | min. 70% of Apartments | 21.7 | 22 = 71% |
| Cross Ventilation | min. 60% of Apartments | 18.6 | 23 = 74% |
| Adaptable Units | 20% of Apartments | 6.2 | 6 units |
| Livable Housing | 10% of Apartments | 3.1 | 3 units |

WASTE GENERATION & MANAGEMENT (120L per unit on weekly basis, uncompacted)

| Type of Bin | Litres / Per Week | No. of Bins Required | Proposed |
|-------------|-------------------|----------------------|----------------|
| Garbage | 3720 | 15.5 (240L) | 16 (240L) BINS |
| Recycling | 3720 | 15.5 (240L) | 16 (240L) BINS |

5.6 Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
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| B | 21.09.2018 | REVISED DA |
| A | 28.03.2018 | ISSUED FOR DA |

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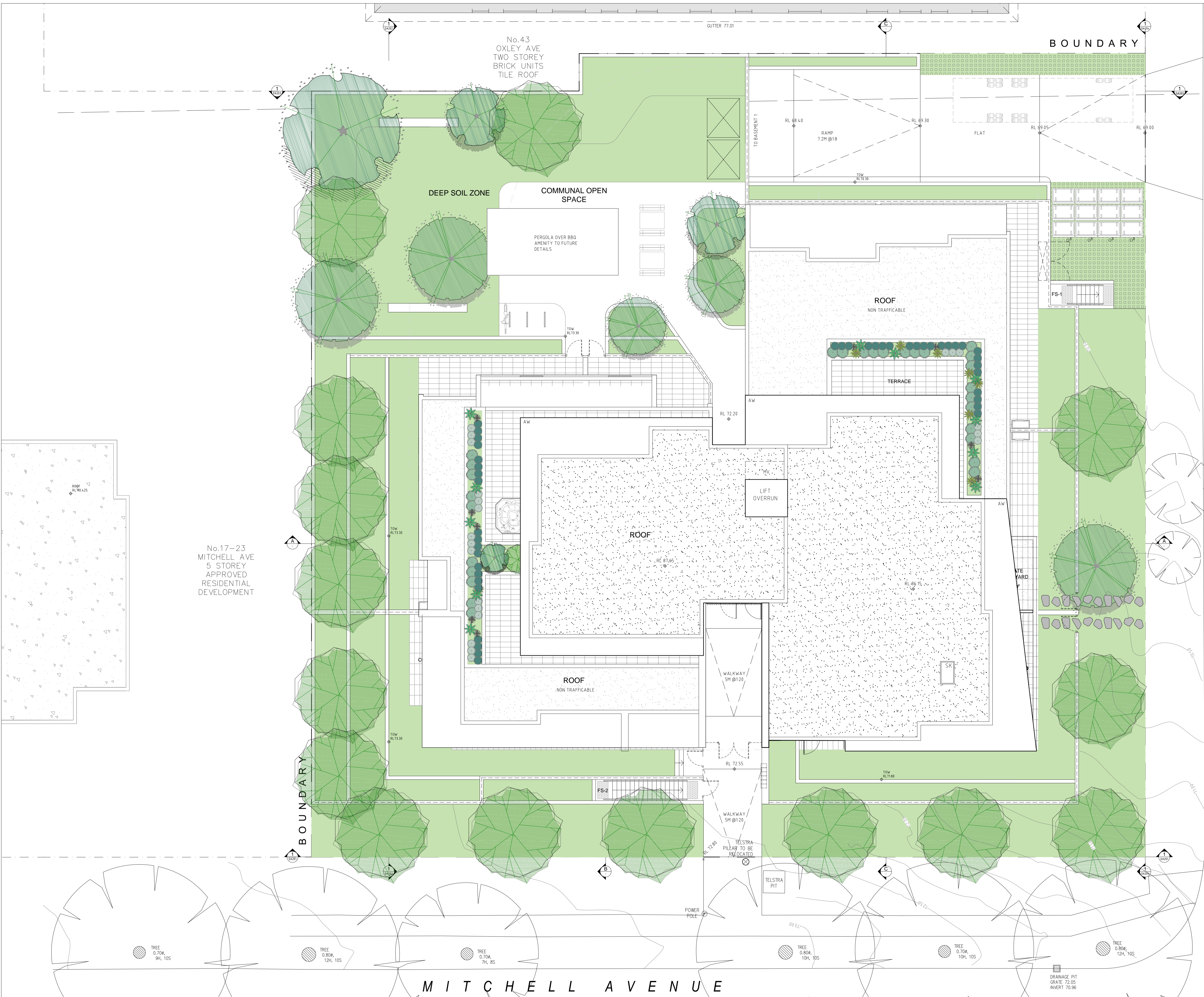
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI

MARCH 2018

DRAWING TITLE:
PROJECT SUMMARY

| | | |
|---------------------|-----------------------------|--------------------|
| SCALE: N/A | DRAWING NO: DA001 | ISSUE: B |
| PROJECT NO: 1747 | | |



GENERAL NOTES:

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OXLEY AVENUE



5.6 Average star rating

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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
 11-15 MITCHELL AVENUE, JANNALI

MARCH 2018

DRAWING TITLE:
SITE PLAN

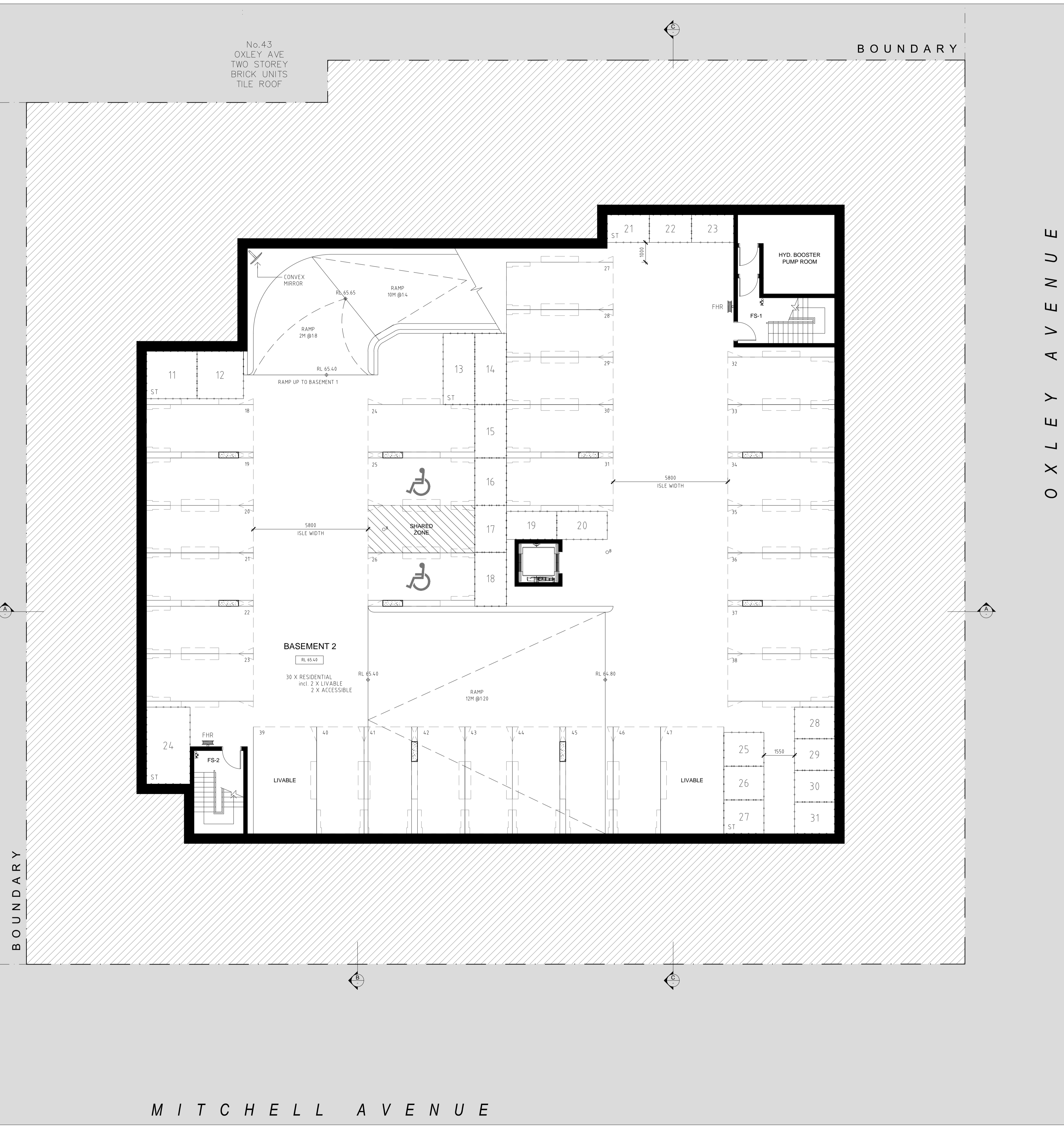
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| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA100 | ISSUE: B |
| PROJECT NO: 1747 | | |

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No.43
OXLEY AVE
TWO STOREY
BRICK UNITS
TILE ROOF

No.17-23
MITCHELL AVE
5 STOREY
APPROVED
RESIDENTIAL
DEVELOPMENT

OXLEY AVENUE



5.6
Average star rating
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
BASEMENT LEVEL 2 PLAN

| | | |
|-----------------------------------|-------------------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA101 | ISSUE: B |
| PROJECT NO: 1747 | Harper Building Consultants Pty Ltd | |

MITCHELL AVENUE

GENERAL NOTES:

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SEWER ACCESS CHAMBER

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NATIONWIDE HOUSE ENERGY RATING SCHEME

Average star rating: **5.6**

Certificate no.: 0003200790
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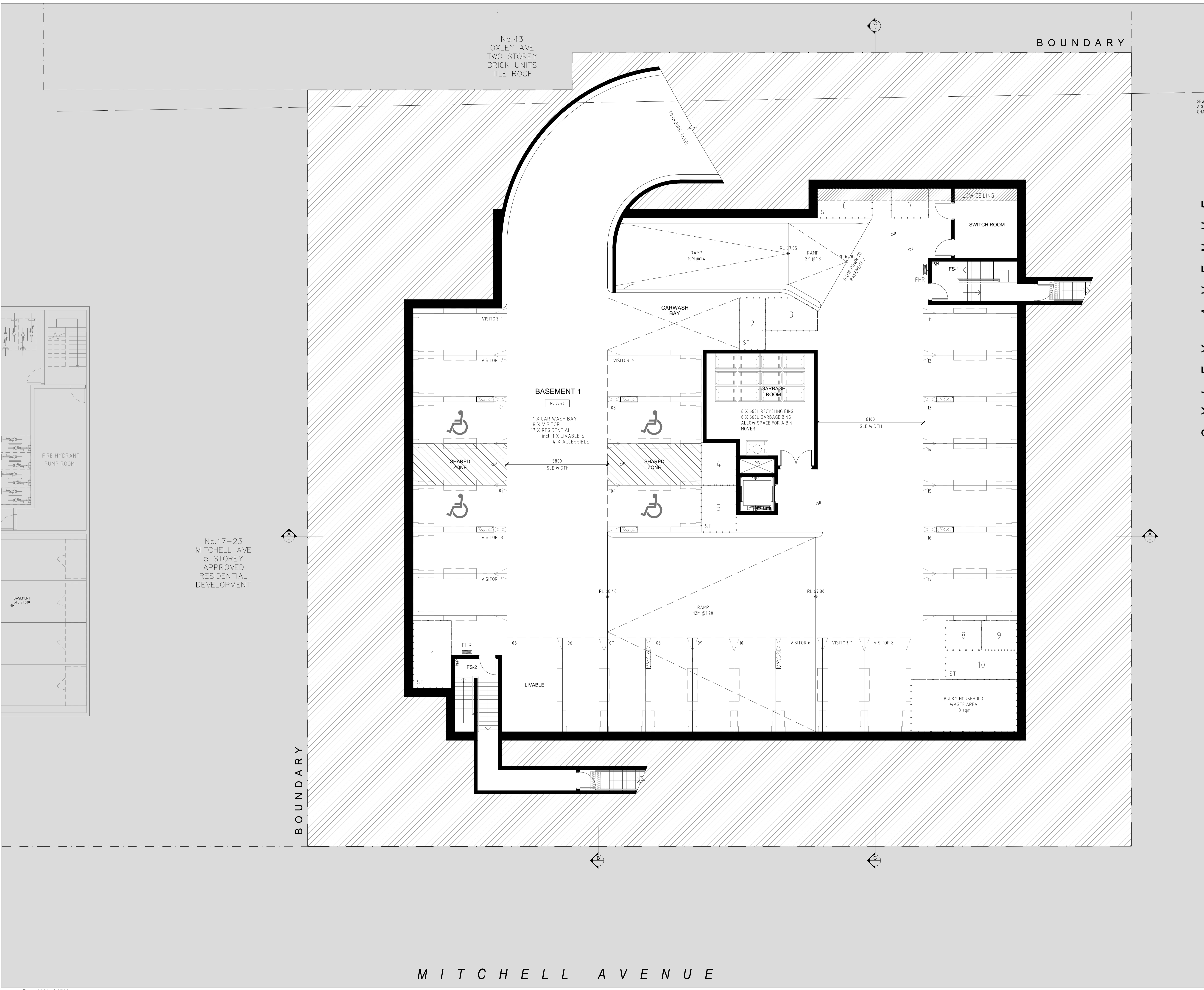
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PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE: BASEMENT LEVEL 1 PLAN

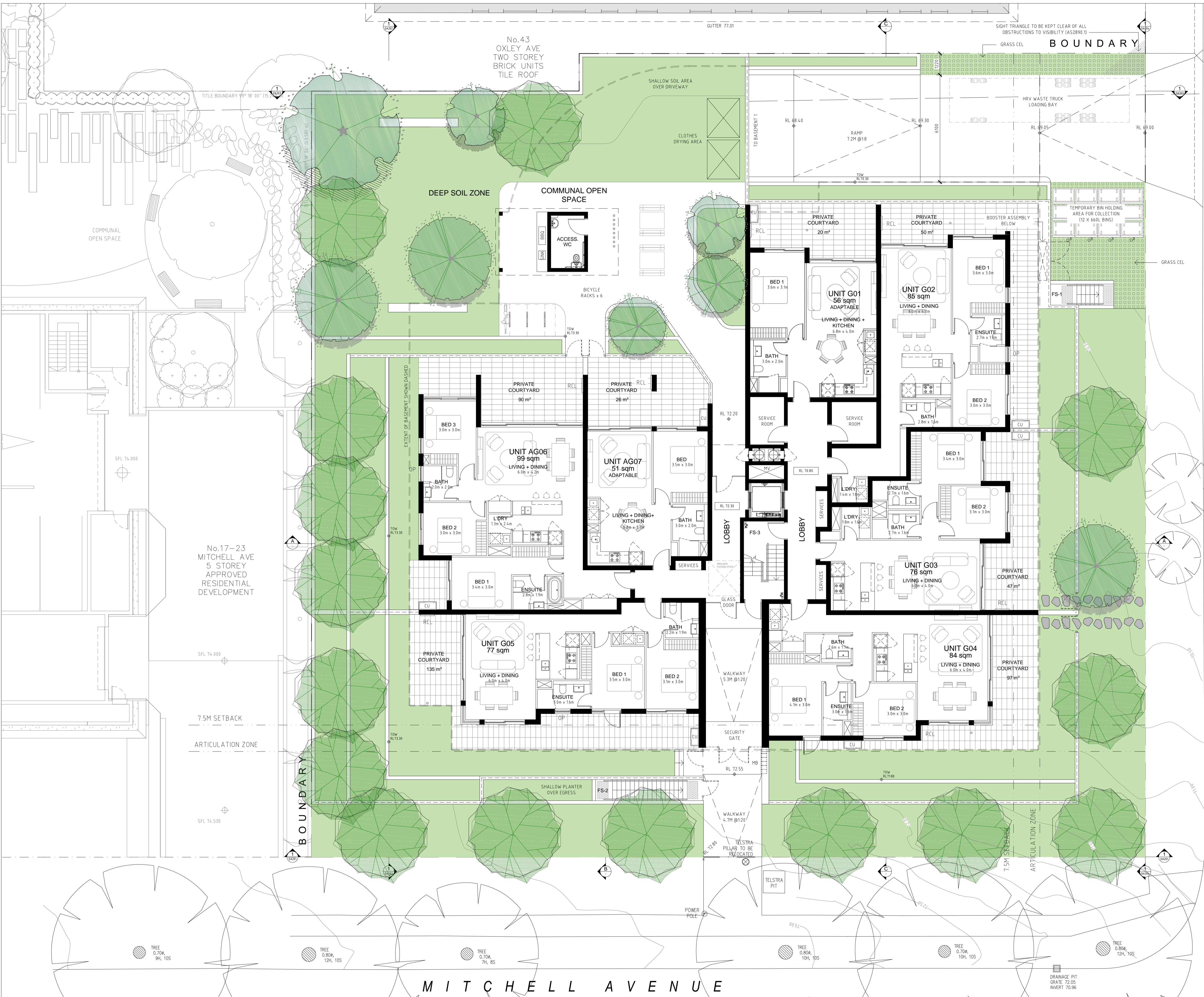
SCALE: 1:100 @ A1 / 1:200 @ A3
DRAWING NO: DA102
PROJECT NO: 1747
ISSUE: B



No.43
OXLEY AVE
TWO STOREY
BRICK UNITS
TILE ROOF

No.17-23
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M I T C H E L L A V E N U E



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| C 19.10.2018 | REVISED DA - DRIVEWAY AMENDED |
| B 21.09.2018 | REVISED DA |
| A 28.03.2018 | ISSUED FOR DA |



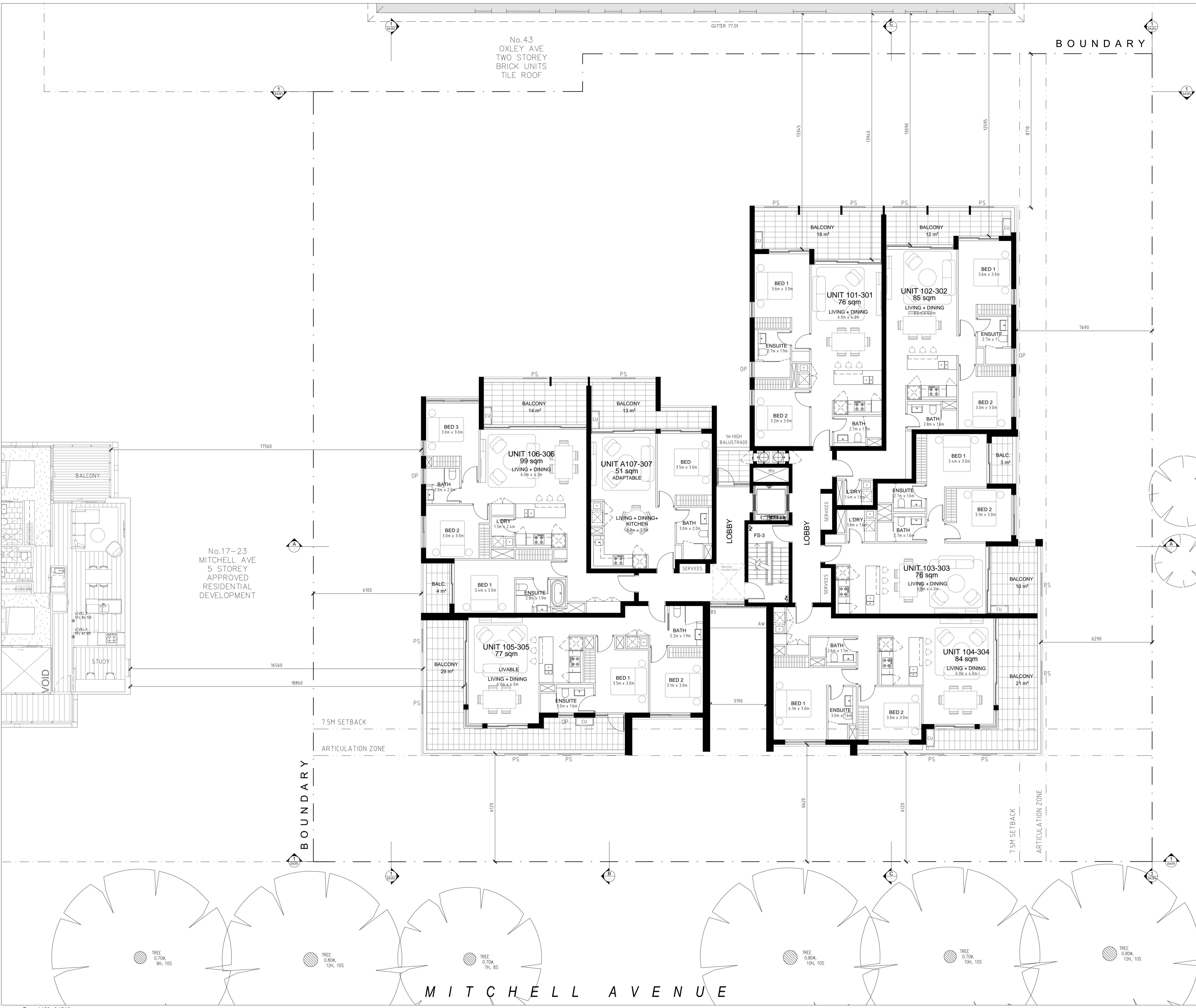
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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
 11-15 MITCHELL AVENUE, JANNALI
 MARCH 2018

DRAWING TITLE:
GROUND FLOOR PLAN

| | | |
|-----------------------------------|-----------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA103 | ISSUE: C |
| PROJECT NO: 1747 | | |



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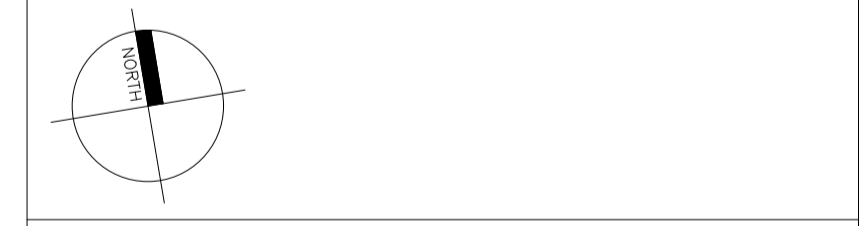
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 P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
 Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
 11-15 MITCHELL AVENUE, JANNALI
 MARCH 2018

DRAWING TITLE:
TYPICAL LEVEL 1-3 PLAN

| | | |
|-----------------------------------|-----------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA104 | ISSUE: B |
| PROJECT NO: 1747 | | |



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
- DRAWINGS FOR THE PURPOSES OF DA ONLY - FURTHER CONSULTANT / AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
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LEGEND:

- AW AWNING
- BS BATTEN SCREEN
- CU A/C CONDENSER UNITS
- FH FIRE HYDRANT
- FHR FIRE HOSE REEL
- FS FIRE STAIRS
- G GARBAGE BIN
- GC GARBAGE CHUTE
- HL HIGHLIGHT WINDOW
- MA ROOF HATCH ACCESS
- MB MAILBOX TO FUTURE DETAIL
- MV MECHANICAL RISER TO FUTURE DETAIL
- OP OPAQUE WINDOW
- PB PRE-FABRICATED PLANTERBOX
- PS SLIDING PRIVACY SCREEN
- R RECYCLING BIN
- RCL RETRACTABLE CLOTHES LINE
- SK SKY LIGHT
- ST STORAGE

O X L E Y A V E N U E



5.6
Average star rating

NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

Certificate no.: 0003200790
Assessor Name: Victor Lin
Accreditation no.: VIC/BDV/12/1454
Certificate date: 24 September 2018
Dwelling Address: 11-15 Mitchell Avenue Jannali, NSW 2226
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| B | 21.09.2018 | REVISED DA |
| A | 28.03.2018 | ISSUED FOR DA |



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ARCHITECT:
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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
LEVEL 4 PLAN

| | | |
|-----------------------------------|-----------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA105 | ISSUE: B |
| PROJECT NO: 1747 | | |

M I T C H E L L A V E N U E



GENERAL NOTES:

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O X L E Y A V E N U E



NATIONWIDE HOUSE ENERGY RATING SCHEME

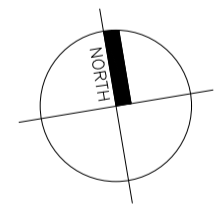
Average star rating: **5.6**

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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI

MARCH 2018

DRAWING TITLE:
ROOF PLAN

| | | |
|-----------------------------------|-----------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA106 | ISSUE: B |
| PROJECT NO: 1747 | | |

M I T C H E L L A V E N U E

- GENERAL NOTES:**
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 - ST STORAGE



5.6
Average star rating
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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
ELEVATION - SOUTH

| | | |
|-----------------------------------|-------------------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA201 | ISSUE: B |
| PROJECT NO: 1747 | Harper Building Consultants Pty Ltd | |

- GENERAL NOTES:**
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5.6
Average star rating

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Assessor Name: Victor Lin
Accreditation no.: VIC/BDV/12/1454
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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
ELEVATION - WEST

| | | |
|-----------------------------------|-------------------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA202 | ISSUE: B |
| PROJECT NO: 1747 | Harper Building Consultants Pty Ltd | |



- GENERAL NOTES:**
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5.6
Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
ELEVATION - NORTH

| | | |
|-----------------------------------|-----------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA203 | ISSUE: B |
| PROJECT NO: 1747 | | |

- GENERAL NOTES:**
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 - SK SKY LIGHT
 - ST STORAGE



5.6 Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
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Certificate no.: 0003200790
Assessor Name: Victor Lin
Accreditation no.: VIC/BDAV/12/1454
Certificate date: 24 September 2018

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| B | 21.09.2018 | REVISED DA |
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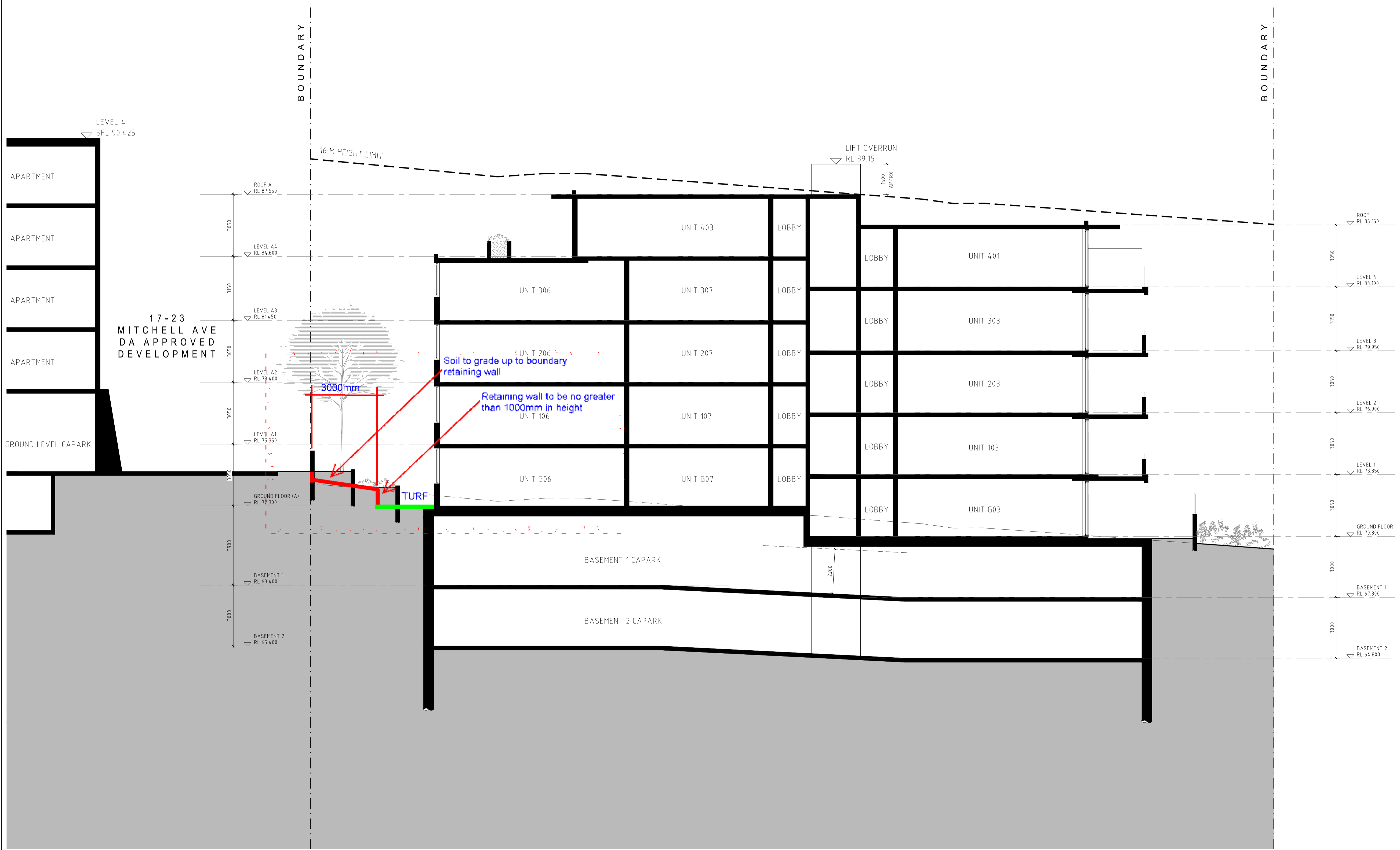
PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
ELEVATION - EAST

| | | |
|-----------------------------------|-----------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA204 | ISSUE: B |
| PROJECT NO: 1747 | | |

- GENERAL NOTES:**
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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| ISSUE | DATE | DESCRIPTION |
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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
 11-15 MITCHELL AVENUE, JANNALI
 MARCH 2018

DRAWING TITLE:
SECTION AA

| | | |
|-----------------------------------|-----------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA301 | ISSUE: B |
| PROJECT NO: 1747 | | |

GENERAL NOTES:

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LEGEND:

| | |
|-----|-----------------------------------|
| AW | AWNING |
| BS | BATTEN SCREEN |
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| ST | STORAGE |



NATIONWIDE HOUSE ENERGY RATING SCHEME

Average star rating: **5.6**

Certificate no.: 0003200790
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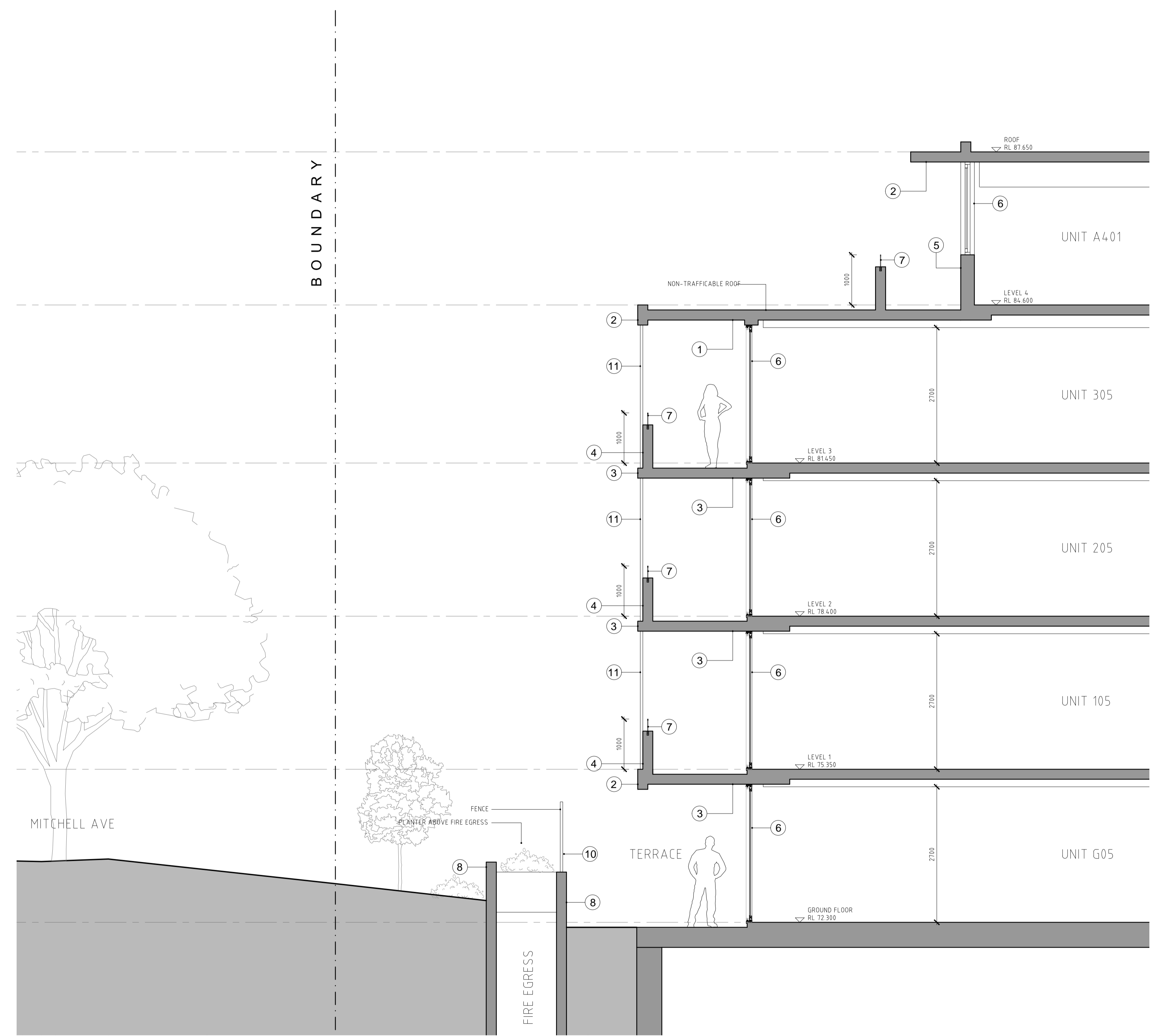
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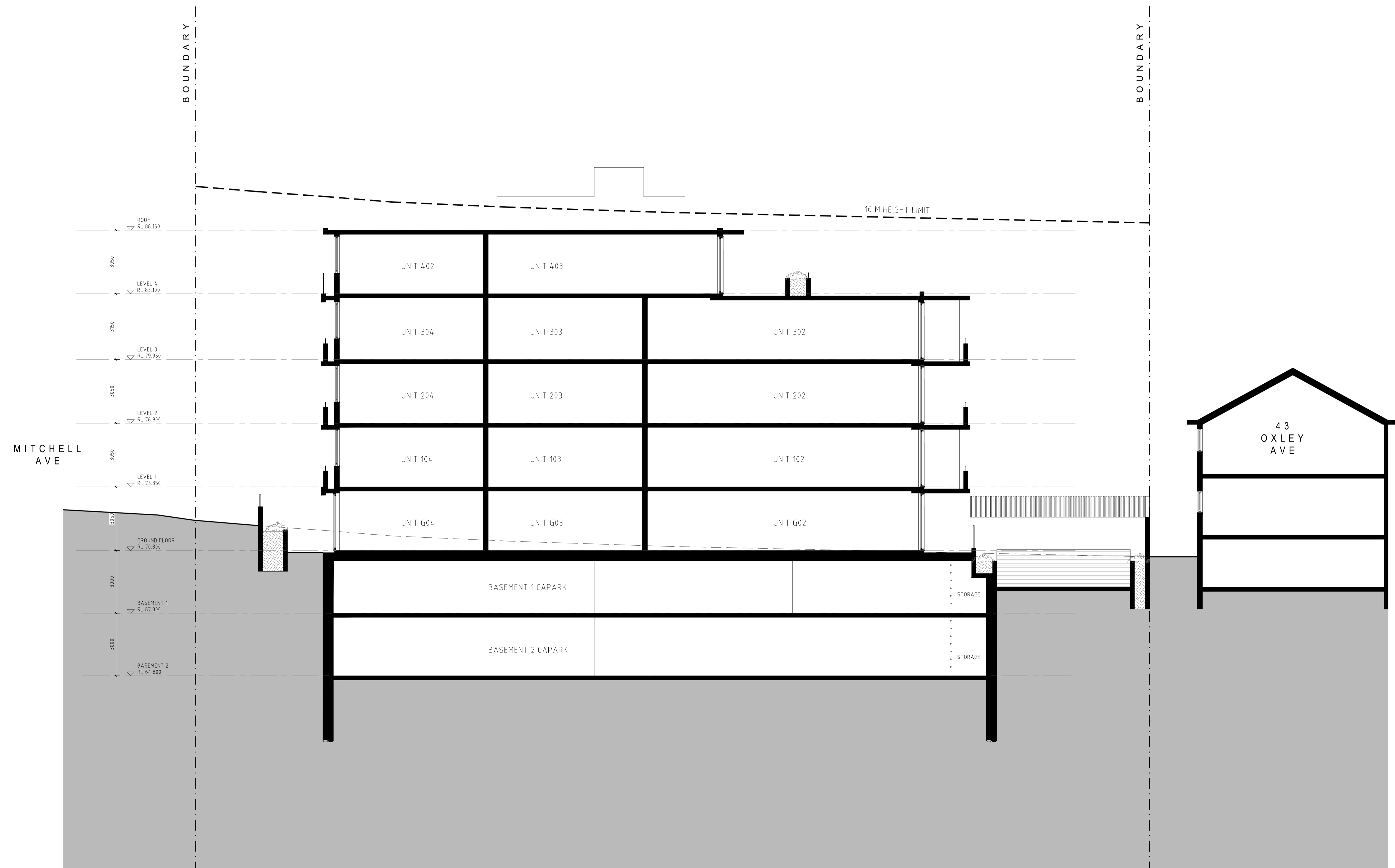
PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
DETAILED FACADE SECTION (SECTION B)

| | | |
|----------------------------------|-----------------------------|--------|
| SCALE: 1:50 @ A1 / 1:100 @ A3 | DRAWING NO: DA302 | ISSUE: |
| PROJECT NO: 1747 | | |



- LEGEND**
- TIMBER SOFFIT
 - RENDERED SLAB EDGE / PAINTED SOFFIT - DULUX WESTERN MYALL or similar
 - RENDERED SLAB EDGE / PAINTED SOFFIT - DULUX NATURAL WHITE or similar
 - RENDERED BALUSTRADE UPTURN (760mm) - DULUX MILTON MOON or similar
 - RENDERED WALL - in DULUX WESTERN MYALL or similar
 - GLAZING TYPE - POWDERCOATED DARK GREY MATT or similar
 - HANDRAIL MATERIAL - 240mm FRAMELESS GLASS
 - MASONRY WALL 1 - RENDERED DULUX NATURAL WHITE or similar
 - MASONRY WALL 2 - SANDSTONE CLADDING
 - METAL FENCE
 - SLIDING PRIVACY SCREENS



- GENERAL NOTES:**
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5.6 Average star rating

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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
SECTION CC

| | | |
|-----------------------------------|-------------------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA303 | ISSUE: A |
| PROJECT NO: 1747 | Harper Building Consultants Pty Ltd | |



1 SOUTH ELEVATION
SCALE 1:100 @ A1



2 WEST ELEVATION
SCALE 1:100 @ A1



TS TIMBER / TIMBER LOOK SOFFIT
WOODFORM - Spotted Gum in Clear Cutek Oil or approved equal
(to units 303, 304, 305, 401 and 402, ONLY)



PS PRIVACY SCREEN
Timber look
Sliding Privacy Screens



TW TEXTURED WALL
Textured and rendered Facade
Colour - DULUX Milton Moon



SC SANDSTONE CLADDING
To street facing planter walls



GB GLASS BALUSTRADE



BS BATTEN SCREEN
WOODFORM Concept Click Batten or similar

MF METAL FENCE

RW RENDERED WALL

P1 DULUX NATURAL WHITE (SW1F4) OR EQUAL

P2 DULUX WESTERN MYALL (PG1F7) OR EQUAL

P3 DULUX MILTON MOON (PN2G5) OR EQUAL

P4 DULUX LINSEED (S15B3) OR EQUAL

DULUX POWDERCOAT DARK GREY MATT (90051275)
Aluminium Extrusions, Awnings, Door and Window frames

- GENERAL NOTES:**
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
 - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
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- LEGEND:**
- AW AWNING
 - BS BATTEN SCREEN
 - FH FIRE HYDRANT
 - FHR FIRE HOSE REEL
 - FS FIRE STAIRS
 - G GARBAGE BIN
 - GC GARBAGE CHUTE
 - GD GRATED DRAIN TO HYDRAULIC ENGINEERS DETAILS
 - GB GREEN WASTE BIN
 - HL HIGHLIGHT WINDOW
 - MA ROOF HATCH ACCESS
 - MB MAILBOX TO FUTURE DETAIL
 - MV MECHANICAL RISER TO FUTURE DETAIL
 - PB PLANTERBOX LANDSCAPE TO LANDSCAPE ARCHITECTS DETAIL
 - PS SLIDING PRIVACY SCREEN
 - PS2 ELLIPTICAL PRIVACY SCREEN
 - R RECYCLING BIN
 - RCL RETRACTABLE CLOTHES LINE
 - RW RENDERED WALL
 - SK SKY LIGHT
 - ST STORAGE



Certificate no.: 0003200790
Assessor Name: Victor Lin
Accreditation no.: VIC/BDV/12/1454
Certificate date: 24 September 2018
Average star rating: 5.6
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au
11-15 Mitchell Avenue
Jannali, NSW
2226
www.nathers.gov.au

| ISSUE | DATE | DESCRIPTION |
|-------|------------|---------------|
| B | 21.09.2018 | REVISED DA |
| A | 28.03.2018 | ISSUED FOR DA |

CLIENT:
TRULAND DEVELOPMENT PTY LTD

ARCHITECT:
PBD ARCHITECTS
ABN 36 147 035 550
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Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
13-15 MITCHELL AVENUE, JANNALI
JUNE 2017

DRAWING TITLE:
MATERIALS SCHEDULE
SOUTH AND WEST ELEVATION

| | | |
|-----------------------------------|-------------------------------------|-------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA401 | ISSUE: B |
| PROJECT NO: 1705 | Harper Building Consultants Pty Ltd | |

GENERAL NOTES:

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- RW RENDERED WALL
- SK SKY LIGHT
- ST STORAGE



1 NORTH ELEVATION
SCALE 1:100 @ A1



2 EAST ELEVATION
SCALE 1:100 @ A1



TS **TIMBER / TIMBER LOOK SOFFIT**
WOODFORM - Spotted Gum in Clear Cutek Oil or approved equal
(to units 303, 304, 305, 401 and 402, ONLY)



PS **PRIVACY SCREEN**
Timber look
Sliding Privacy Screens



TW **TEXTURED WALL**
Textured and rendered Facade
Colour - DULUX Milton Moon



SC **SANDSTONE CLADDING**
To street facing planter walls



GB **GLASS BALUSTRADE**



BS **BATTEN SCREEN**
WOODFORM Concept Click Battern or similar

MF **METAL FENCE**

RW **RENDERED WALL**

P1 **DULUX NATURAL WHITE (SW1F4) OR EQUAL**

P2 **DULUX WESTERN MYALL (PG1F7) OR EQUAL**

P3 **DULUX MILTON MOON (PN2G5) OR EQUAL**

P4 **DULUX LINSEED (S15B3) OR EQUAL**

DULUX POWDERCOAT DARK GREY MATT (90051275)
Aluminium Extrusions, Awnings, Door and Window frames



5.6 Average star rating
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Certificate no.: 0003200790
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PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
13-15 MITCHELL AVENUE, JANNALI
JUNE 2017

DRAWING TITLE:
MATERIALS SCHEDULE
NORTH AND EAST ELEVATION

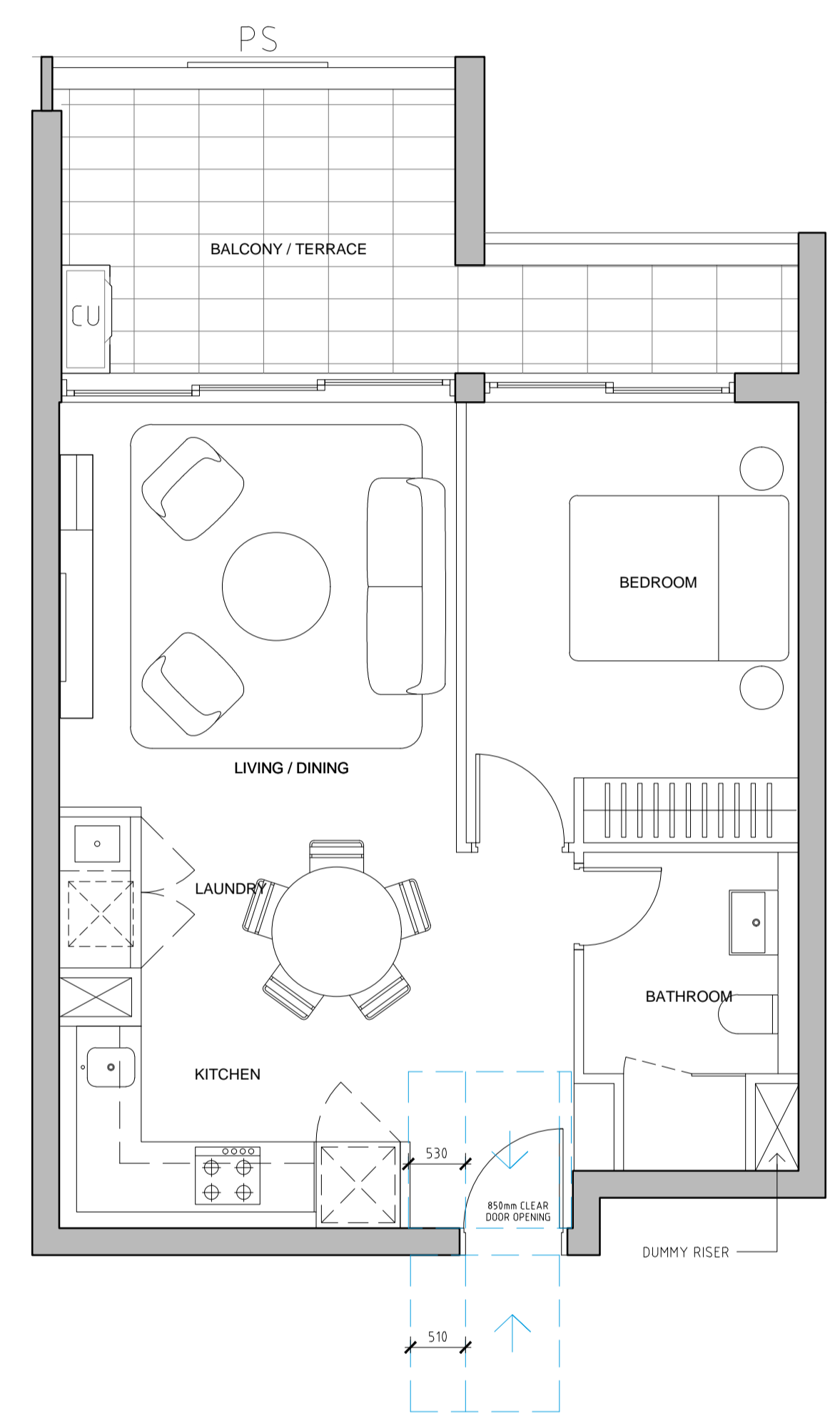
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|-----------------------------------|-------------------------------------|--------------------|
| SCALE: 1:100 @ A1 / 1:200 @ A3 | DRAWING NO: DA402 | ISSUE: B |
| PROJECT NO: 1705 | Harper Building Consultants Pty Ltd | |

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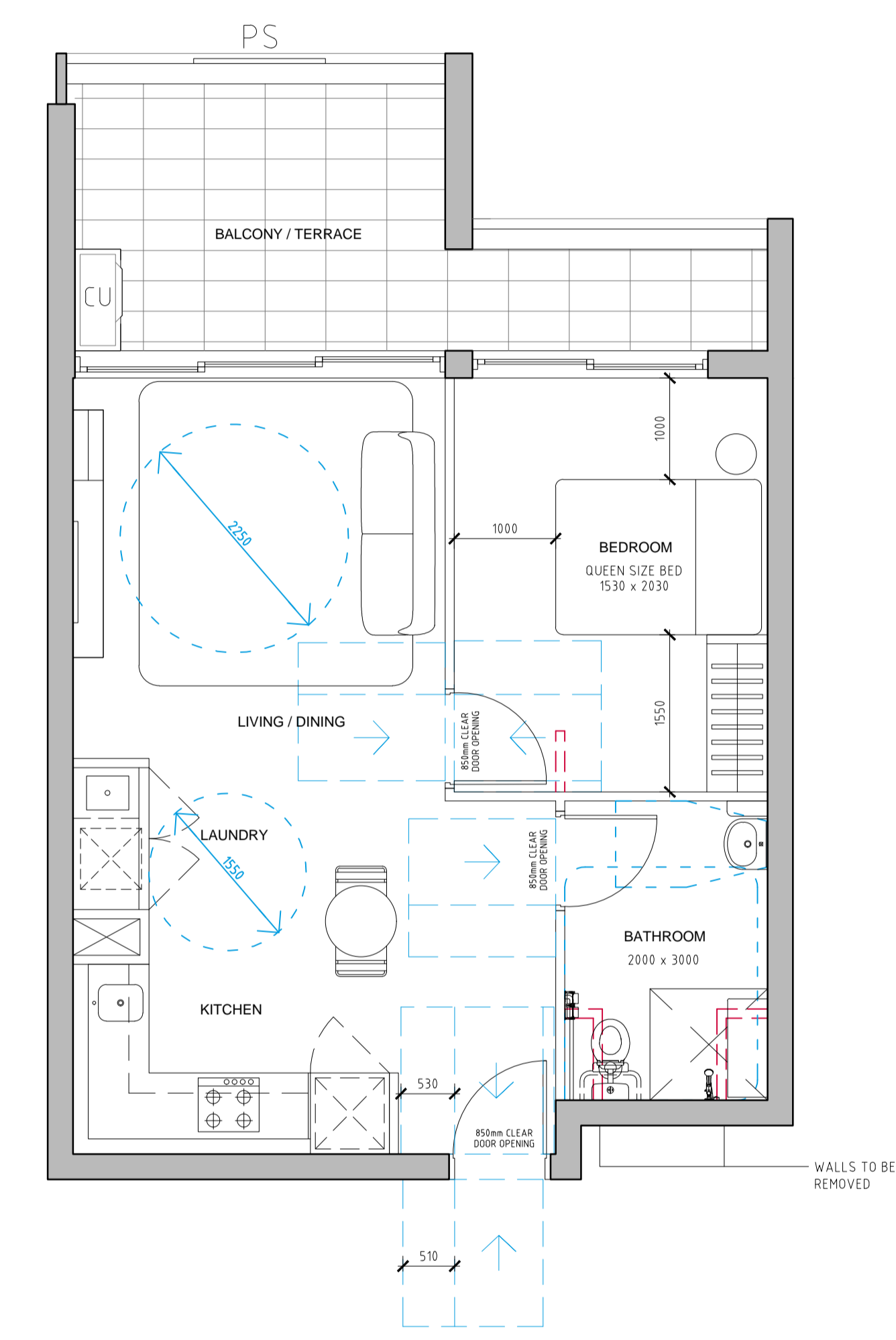
LEGEND:

- AW AWNING
- BS BATTEN SCREEN
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- ST STORAGE



1 PRE-ADAPTATION LAYOUT
SCALE 1:50

ADAPTABLE UNITS:
UNIT G07
UNIT 107
UNIT 207
UNIT 307



2 POST-ADAPTATION LAYOUT
SCALE 1:50



5.6 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME
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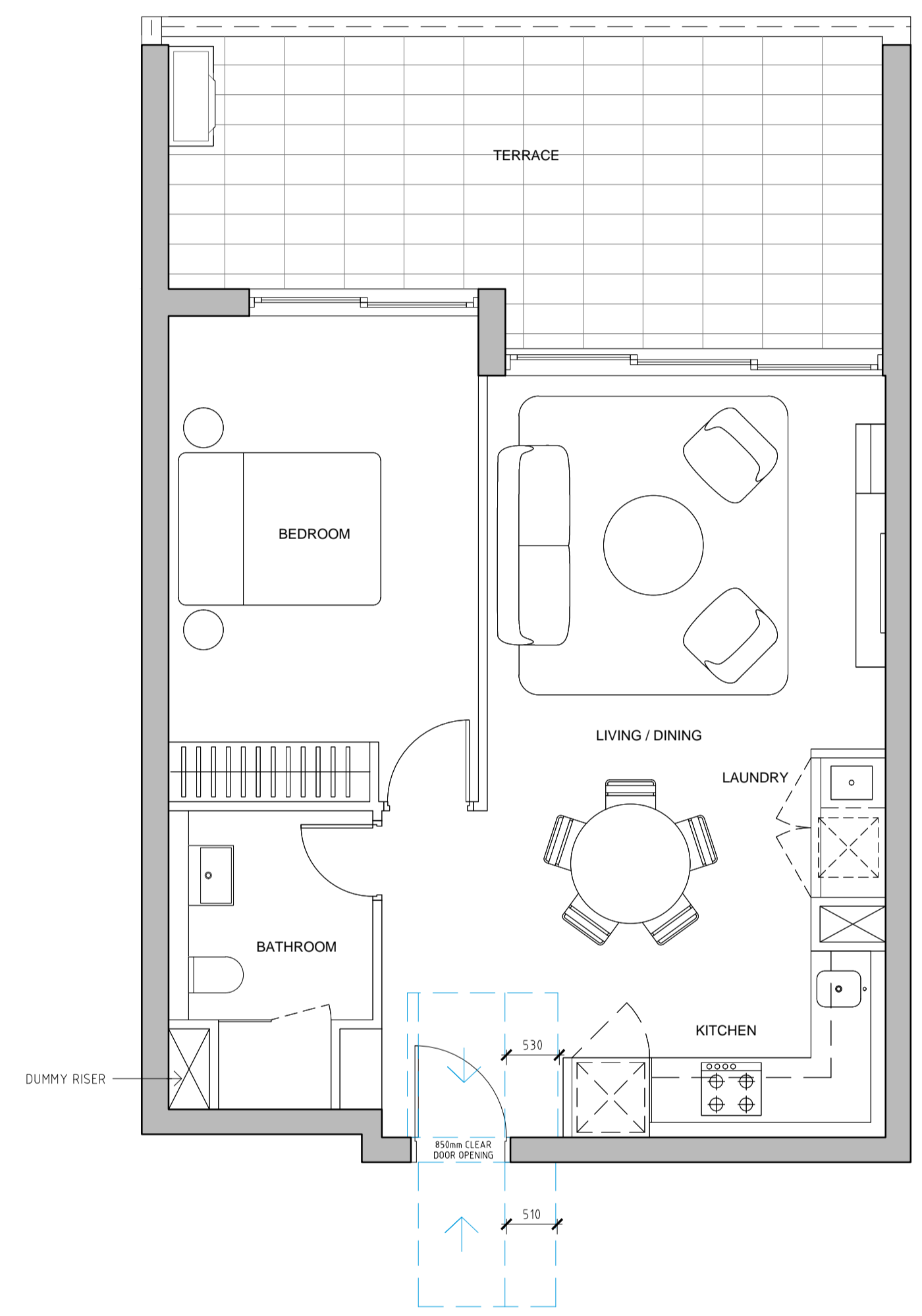
PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
ADAPTABLE LAYOUT
TYPE A

| | | |
|----------------------------------|-----------------------------|--------------------|
| SCALE: 1:50 @ A1 / 1:100 @ A3 | DRAWING NO: DA801 | ISSUE: B |
| PROJECT NO: 1747 | | |

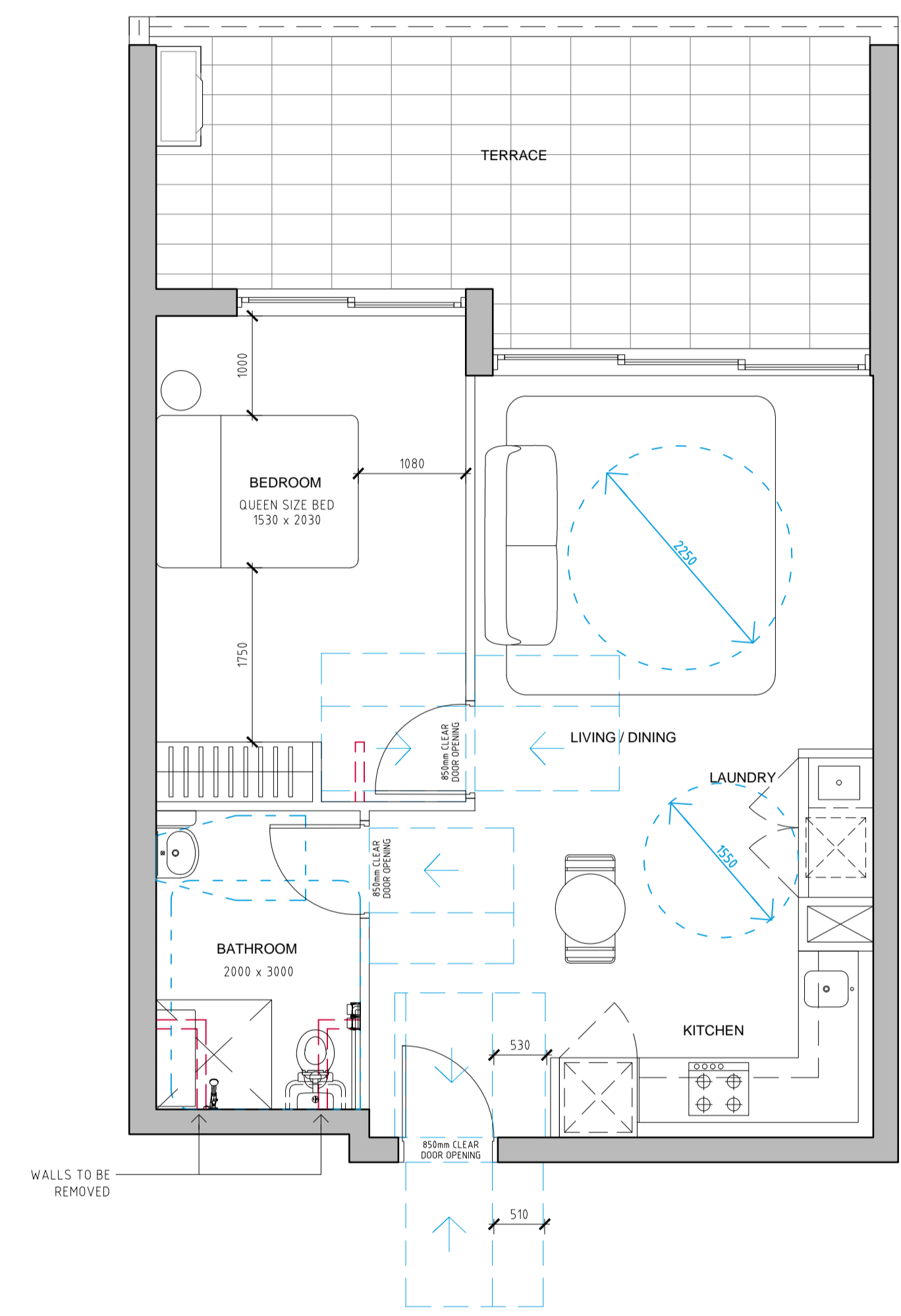
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1 PRE-ADAPTATION LAYOUT
SCALE 1:50

ADAPTABLE UNIT:
UNIT G01



2 POST-ADAPTATION LAYOUT
SCALE 1:50



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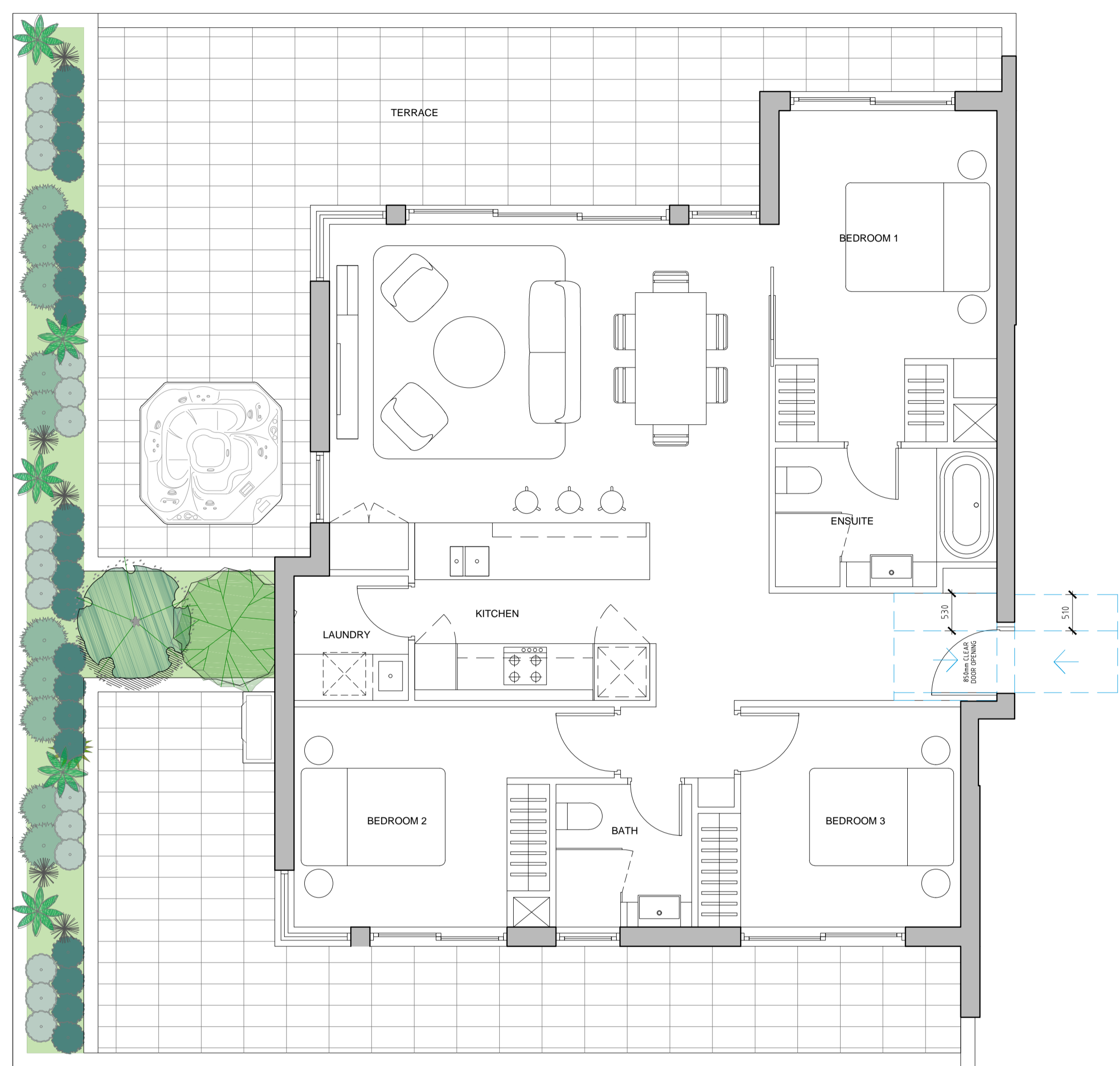
PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT
11-15 MITCHELL AVENUE, JANNALI
MARCH 2018

DRAWING TITLE:
ADAPTABLE LAYOUT
TYPE B

| SCALE: | DRAWING NO.: | ISSUE: |
|------------------------|--------------|--------|
| 1:50 @ A1 / 1:100 @ A3 | DA802 | B |
| PROJECT NO: 1747 | | |

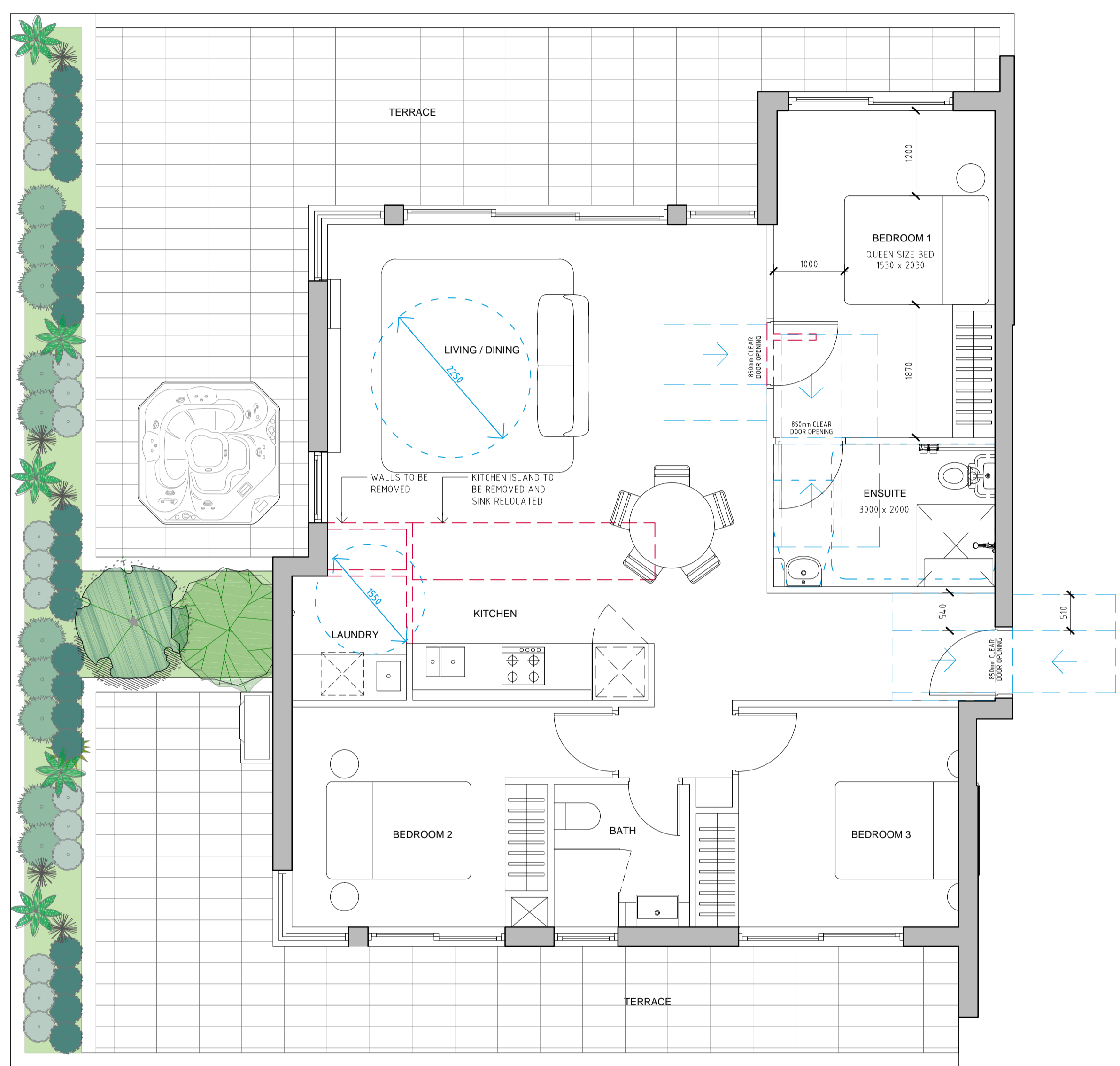
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1 PRE-ADAPTATION LAYOUT
 SCALE 1:50

ADAPTABLE UNIT:
 UNIT 403



2 POST-ADAPTATION LAYOUT
 SCALE 1:50



Certificate no.: 0003200790
 Assessor Name: Victor Lin
 Accreditation no.: VIC/BDAV/12/1454
 Certificate date: 24 September 2018
 Dwelling Address: 11-15 Mitchell Avenue, Jannali, NSW 2226
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5.6 Average star rating
 NATIONWIDE HOUSE ENERGY RATING SCHEME
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CLIENT:
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ARCHITECT:
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 Level 2, 52 Albion Street, Surry Hills NSW 2010

PROJECT:
 PROPOSED RESIDENTIAL DEVELOPMENT
 11-15 MITCHELL AVENUE, JANNALI
 MARCH 2018

DRAWING TITLE:
 ADAPTABLE LAYOUT
 TYPE C

| SCALE: | DRAWING NO: | ISSUE: |
|------------------------|-------------|--------|
| 1:50 @ A1 / 1:100 @ A3 | DA803 | B |
| PROJECT NO: 1747 | | |